

ACTIVITY DETERMINATION

Project No. BGXPQ

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive Officer, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive Officer, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed...  ... Dated... 1 May 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No.

289-293

Street or property name

Beauchamp Road

Suburb, town or locality

Matraville, NSW

Postcode

2036

Local Government Area(s)

Randwick

Real property description (Lot and DP)

Lots 8 & 9 DP 36253

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing dwellings and structures, removal of trees, and the construction of 10 independent living seniors housing units comprising 4 x 1-bedroom and 6 x 2-bedroom units, with associated landscaping and fencing, surface parking for 5 cars, and consolidation into a single lot.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated.....1 May 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

Schedule 1

PART A – Standard identified requirements

THE DEVELOPMENT

The following identified requirements are to ensure that the *seniors housing* activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Cover Page	A-000	J	07.02.2023	Collard Maxwell Architects
Notes	A-001	B	21.02.2022	Collard Maxwell Architects
Site Analysis	A-002	C	01.11.2022	Collard Maxwell Architects
Site Amalgamation Plan	A-003	A	10.12.2021	Collard Maxwell Architects
Kerb Ramp Upgrade	A-004	A	03.11.2022	Collard Maxwell Architects
Site Plan	A-100	J	03.02.2023	Collard Maxwell Architects
Ground Floor Plan	A-101	K	03.02.2023	Collard Maxwell Architects
First Floor Plan	A-102	K	03.02.2023	Collard Maxwell Architects
Roof Plan	A-103	G	01.11.2022	Collard Maxwell Architects
Unit Layout Units 1 & 2	A-121	D	04.04.2022	Collard Maxwell Architects
Unit Layout Units 3 & 4	A-122	D	04.04.2022	Collard Maxwell Architects
Unit Layout Units 5 & 10	A-123	E	03.02.2023	Collard Maxwell Architects
Unit Layout Units 6 & 7	A-124	D	04.04.2022	Collard Maxwell Architects
Unit Layout Units 8 & 9	A-125	D	04.04.2022	Collard Maxwell Architects
Cut/Fill Plan, Demolition	A-151	F	01.11.2022	Collard Maxwell Architects
Elevations North/East	A-201	K	03.02.2023	Collard Maxwell Architects
Elevations South/West	A-202	K	03.02.2023	Collard Maxwell Architects
Sections A-A, B-B	A-301	G	04.04.2022	Collard Maxwell Architects
Shadow Diagrams	A-501	E	08.03.2022	Collard Maxwell Architects
Sun Angle Diagrams 9am-12pm	A-510	C	18.02.2022	Collard Maxwell Architects
Sun Angle Diagrams 1pm-3pm	A-511	C	18.02.2022	Collard Maxwell Architects
Perspectives	A-701	G	07.02.2023	Collard Maxwell Architects
Landscape Plan	L - 01	F	20.02.2022	Eco Design
Stormwater Services Legend, Details & Calculations	STW-00	B	03.12.2021	EI Australia
Stormwater Services Erosion Sediment Control	STW-01	B	03.12.2021	EI Australia

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Plan				
Stormwater Services Ground Floor	STW-03	D	09.02.2022	El Australia
BASIX Certificate	1263679M_02	/	11.11.2022	Efficient Living Pty Ltd
NatHERS Certificate	No. 0006910400	/	11.11.2022	Efficient Living Pty Ltd
Arboricultural Impact Assessment and Tree Management Plan	7540	N/A	22.02.22	Redgum Horticultural
Access Report	21316	D	19.11.2022	Vista Access Architects
Flood Advice Letter	2-000279-LTR-CMA-2022-11-16	N/A	16.11.2022	Calibre
Noise Impact Assessment	210528	1	30.11.2021	PWNA
BCA Design Compliance Assessment	P210147	2	20.02.2022	BCA Vision
Geotechnical Investigation and Infiltration Testing	21/0520	N/A	March 2021	STS Geotechnics
Traffic and Parking Impact Assessment	092/2021	F	November 2022	TTPA
Waste Management Plan	N/A	N/A	10.12. 2022	Collard Maxwell Architects

- All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
- The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

- Stormwater shall be collected within the site and discharge to an approved location as per Randwick City Council requirements in accordance with the approved concept stormwater drainage plans.
- Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
- All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
- To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing and layback shall be provided at the entrance/exit to the property. Should a new crossing and layback be required to be provided it shall be constructed in accordance with Randwick City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of any required new layback/driveway shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks/ shall be constructed as kerb and obsolete driveways removed in accordance with the council's standards.

Note: It is recommended that discussions be held with the relevant authorities before construction works commence.

12. Car parking spaces and the driveway shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
 - i. connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is

suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan and maintained for a period of 12 months by the building contractor. The Council for the area shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Randwick City Council and provide a copy to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Arboricultural Impact Report and Tree Management Plan and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of two days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall

outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.

28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Council Notification

30. Randwick City Council shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of 5 working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. Building and demolition materials shall not be stored on the Council for the area's footpath or roadway.

Protection of Trees

34. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Report and Tree Management Plan.

Waste Management

35. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.
36. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any work commencing on the site, excluding demolition.

Service Authority Clearances

37. A compliance certificate, or other evidence, shall be obtained from Sydney Water, confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

38. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
39. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
40. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Stormwater Disposal

41. Detailed stormwater drainage plans, substantially in accordance with the approved concept stormwater drainage plans, shall be prepared in accordance with Randwick City Council's drainage code and submitted to the Land & Housing Corporation.

Landfill

42. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
43. Land fill materials must satisfy the following requirements:
- i. Shall be Virgin Excavated Natural Matter (VENM);

- ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter; and
- iii. Shall be free of industrial waste and building debris.

Site Facilities

44. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Randwick City Council or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.

DURING DEMOLITION / CONSTRUCTION

The following identified requirements are to be complied with whilst works are occurring on the site.

Heritage

45. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items or Indigenous items have been uncovered, the Department of Planning and Environment must be contacted.
46. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

Demolition

47. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
48. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
49. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
50. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
51. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
52. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.

- 53. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- 54. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
- 55. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

- 56. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

- 57. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

- 58. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

- 59. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.
- 60. No fires shall be lit, or waste materials burnt, on the site.
- 61. No washing of concrete forms or trucks shall occur on the site.
- 62. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
- 63. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 64. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
- 65. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- 66. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.

67. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following identified requirements are to be complied with prior to the occupation of the development.

General

68. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Termite Protection

69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

Council Infrastructure Damage

70. The cost of repairing any damage caused to Randwick City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

71. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

PART B – Additional identified requirements

Specific Requirements for Seniors Housing

72. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of State Environmental Planning Policy (Housing) 2021.

Note:

This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

73. Only the following kinds of people shall be accommodated in the approved development:

- (a) seniors or people who have a disability; or
- (b) people who live within the same household with seniors or people who have a disability; or
- (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

74. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.

75. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.

76. The existing kerb ramps on Beauchamp Road and shall be regraded to a maximum gradient of 1:8 to provide an accessible pathway from the site to the nearest bus stops where required in accordance with Access Report dated 20.07.2022 by Vista Access Architects.

Note:

The responsible officer in the council for the area shall be contacted regarding council's specifications and any necessary approvals.

77. Entry doors to units shall to be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

78. The building is to be designed such that an internal noise levels recommended by the supporting Acoustic Report are achieved.

79. Trees 1, 2, 4 & 5 are to be retained in situ within the site and are to be protected as detailed in 7.5 – 7.9 and Section 14 of part B of the supporting Arboricultural Impact Report and Tree Management Plan. Tree protection fences, or works, to be situated in accordance with Site Plan B - Trees to be Retained and Tree Protection Zones.

80. Trees 3, 6 & 7 are to be removed which is to be undertaken in accordance with 7.10 - 7.11 and Section 13 of Part B of the Arboricultural Impact Report and Tree Management Plan.

81. Each of the replacement are to be a vigorous specimen with a straight trunk, gradually tapering and continuous, crown excurrent, symmetrical, with roots established but not pot bound in a volume container or approved similar and be maintained by an appropriately qualified and experienced landscape contractor for up to one (1) year after planting, or as appropriate.

82. **Prior to construction works commencing** a root mapping investigation shall be undertaken along the building footprint closest to Tree 1. If the results indicate the tree viability may be compromised construction methods are to be amended accordingly to ensure the tree will remain viable.

The root mapping investigation and subsequent assessment report is to be undertaken / prepared by a qualified Arborist.

Construction is to be undertaken in accordance with the recommendations contained within the Arboricultural Impact Report and Tree Management Plan.

83. A drainage pit is to be placed in the existing low point of the site to collect any flows from the adjacent property and prevent nuisance ponding from occurring along the site boundary, per the Flood Advice Letter dated 16 November 2022.
84. The required floor levels for the building are to RL30.80 to provide the required 500mm freeboard, per the Flood Advice Letter dated 16 November 2022.
85. Surface drainage should be provided to avoid the possibility of water ponding near the building and the finished ground surface should fall at least 50mm over a distance of 1m away from the building, per Section 6 of the Geotechnical Report.
86. **Prior to the Crown Works Certificate being issued** the development design is to be upgraded to include additional features that would allow each individual dwelling to receive a minimum NatHERS 6 star rating. Revised BASIX and NatHERS certificates and associated certified plans demonstrating compliance in this regard are to be obtained and submitted to LAHC.
87. Solar (photovoltaic electricity generating) energy system
Where a solar energy system is proposed it must satisfy the following requirements:
- the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
 - the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
 - the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
 - the system must not protrude more than 0.3m from the wall or roof (as measured from the point of attachment), and
 - the system is installed no less than 3m from any adjoining property boundary.

Where a solar energy system is proposed it must demonstrate compliance with the above requirements at Crown Certificate stage.

Requirements Resulting from Council Comments

88. The design of the front fences to Beauchamp Road are to be amended so that the spacing of the fencing slates in the upper two thirds, (e.g. top 1,200mm portion where fences are 1800mm high), of the fences are at least 30% open.

Requirements Resulting from Adjoining Occupier Comments

89. Proposed plantings along the rear fence line of 10 Bapaume Parade are to be substituted with a different type of Lilly Pilly: *Acmena Smithii* 'Forest Flame' - mature height 2m.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialling 1100.

SENIORS HOUSING PROPOSAL

289 - 293 Beauchamp Road, Matraville

DEVELOPMENT APPLICATION ISSUE



INDEX:

A-000	[J]	COVER PAGE
A-001	[B]	NOTES
A-002	[C]	SITE ANALYSIS
A-003	[A]	SITE AMALGAMATION PLAN
A-004	[A]	KERB RAMP UPGRADE
A-100	[J]	SITE PLAN
A-101	[K]	GROUND FLOOR PLAN
A-102	[K]	FIRST FLOOR PLAN
A-103	[G]	ROOF PLAN
A-121	[D]	UNIT LAYOUT UNITS 1 & 2
A-122	[D]	UNIT LAYOUT UNITS 3 & 4
A-123	[E]	UNIT LAYOUT UNITS 5 & 10
A-124	[D]	UNIT LAYOUT UNITS 6 & 7
A-125	[D]	UNIT LAYOUT UNITS 8 & 9
A-151	[F]	CUT / FILL PLAN, DEMOLITION
A-201	[K]	ELEVATIONS NORTH / EAST
A-202	[K]	ELEVATIONS SOUTH / WEST
A-301	[G]	SECTIONS A-A, B-B
A-501	[E]	SHADOW DIAGRAMS
A-510	[C]	SUN ANGLE DIAGRAMS 9AM-12PM
A-511	[C]	SUN ANGLE DIAGRAMS 1-3PM
A-701	[G]	PERSPECTIVES

DEVELOPMENT DATA TABLE

SITE INFORMATION				
ADDRESS	289 - 293 BEAUCHAMP ROAD			
DP / LOT	LOTS 8 & 9, DP 36253			
SITE AREA	1330.2 m²			
NO. OF UNITS: 10 UNITS				
BEDROOM MIX: 4x 2-Beds, 6x 1-Beds				
UNITS	# BEDS	LEVEL	INT. AREA	P.O.S.
Unit 01	2 Bed	GF	72 m²	64 m²
Unit 02	2 Bed	GF	72 m²	70 m²
Unit 03	1 Bed	GF	53 m²	33 m²
Unit 04	1 Bed	GF	62 m²	32 m²
Unit 05	1 Bed	GF	55 m²	20 m²
Unit 06	2 Bed	L1	72 m²	13 m²
Unit 07	2 Bed	L1	72 m²	13 m²
Unit 08	1 Bed	L1	53 m²	8 m²
Unit 09	1 Bed	L1	62 m²	12 m²
Unit 10	1 Bed	L1	55 m²	11 m²
GFA (LEP)		FSR (LEP)		
730 m²		0.55:1		
GFA (SEPP)		FSR (SEPP)		
741 m²		0.56:1		

OTHER CONTROLS			
	CONTROL	REQUIREMENT	PROPOSED
CAR PARKING	H SEPP	1 space per 5 dwellings	5 spaces (incl. 2 accessible) + turning bay
	LAHC	1-bed: 0.4 space 2-bed: 0.5 space	
FRONT SETBACKS	H SEPP / DCP	exist. building line, min. 3m	6.600 m
SIDE SETBACKS	DCP	min. 4m	3.000 West / 6.230 East
REAR SETBACK	DCP	15% of site depth / min. 5m	min. 13.115 m
LAND-SCAPING	H SEPP	min. 35m² / dwelling (350m²)	445 m² (33% of site)
DEEP SOIL	H SEPP	min. 15% of site (199.3m²)	341 m² (26% of site)
		min. 65% at rear of site (129.7m²)	160 m²
SOLAR ACCESS	H SEPP	min 2h to 70% of dwellings	80 % (8/10 units)
PRIVATE OPEN SPACE	H SEPP	GF: 15m² per dwelling, min 3m FF: 1-bed: 6m² (LAHC: 8m²) 2-bed: 10m², min 2m	GF: 20-70m² per dwelling, min 3m FF: 1-bed: 8-12 m², min 2m 2-bed: 13 m², min 2m



NOTES

BASIX & Thermal Comfort Inclusions – 289-293 Beauchamp Rd, Matraville

Aluminium framed clear performance glazing:

Type A – hinged doors: all units
U-Value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%)
Type B – sliding doors + sliding windows: all units
U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)
Type B – fixed glazing: Unit 5 living room door fixed side panel
U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±10%)
Type A– hinged door: Unit 5
U-Value: 5.40 (equal to or lower than) SHGC: 0.49 (±10%)

Given values are AFRC, total window system values (glass and frame)
NOTE: Openability modelled as per BASIX Thermal Protocol -4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regard to restricted openings.

Roof
Steel roof with R1.3 Anticon (or similar)
External Colour
Concrete: Medium (0.475<SA<0.7)

Ceiling
Plasterboard ceiling with a minimum F2.5 insulation (insulation only value) where metal roof is above
Plasterboard ceiling, no insulation where neighbouring units are above

Ceiling Penetrations
Sealed LED downlights every at a maximum of 1 fitting per 2.5m²

External Wall
Cavity Brick with aircell (or similar)
External Colour
Default Medium (0.475<SA<0.7) colour modelled

Inter tenancy walls
Cavity Brick party walls between dwellings
Cavity Brick to walls adjacent to hallway
200mm brick to walls adjacent to lift shaft

Walls within dwellings
Plasterboard on studs – no insulation

Floors
Concrete between levels no insulation required.

DETERMINED by the NSW Land and Housing Corporation on:

1 May 2023

Floor coverings
Carpet with underlay to bedrooms, tiles to bathrooms and laundry, timber elsewhere

External Shading
Shading as per stamped documentation

BASIX water inclusions
Scere 40/40

Fixtures within units
Showerheads: Mid flow (>4.5L but <=6.0 L/min)
Toilets: 4.0 star
Kitchen taps: 5.0 star
Bathroom vanity taps: 5.0 star

Appliances within units
No specified

Common area swimming pool
No pool

Low water planting
222m²

Hot water system
Individual gas instantaneous 6.0 stars

Lift motors
All lifts to have gearless traction with VVVF motor

Appliances & other efficiency measures within units
Gas cooktop & electric oven
Dishwashers: rating not specified
Clothes dryers: rating not specified
Clothes washer: rating not specified
No well ventilated fridge space

Heating and cooling within units
All units to have ceiling fans (min 900mm) to each bedroom and living room
No heating

Artificial lighting within units
All light fittings within each room are to have dedicated LED fixtures installed

Ventilation within units
Bathroom – Individual fan, ducted to roof or facade – interlocked to light
Laundry – Individual fan, ducted to roof or facade – manual on/ manual off switch
Kitchen range hood – Individual fan, ducted to roof or facade – manual on / manual off switch

Ventilation to common areas
Hallway/Lobby areas – No mechanical ventilation

Artificial lighting to common areas
Lifts – Light emitting diodes (LEDs)
Hallway/Lobby areas Light emitting diodes (LEDs)

Alternative energy
2.4kW

Rev	Description	Date
A	Issue for Development Application	2021-12-10
B	Amended party walls	2022-02-21



Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253

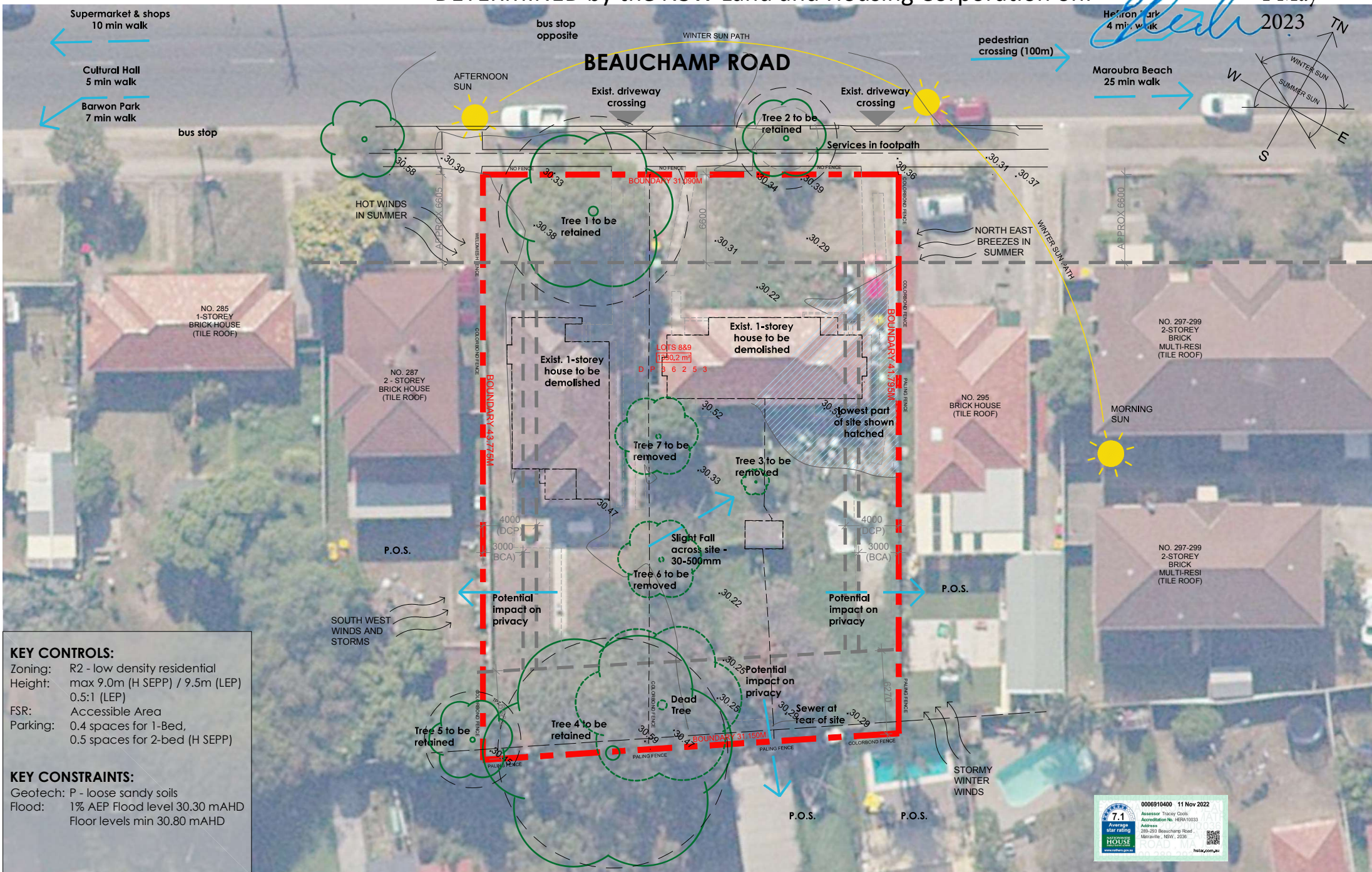


NOTES

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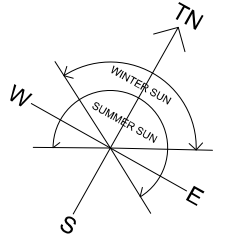
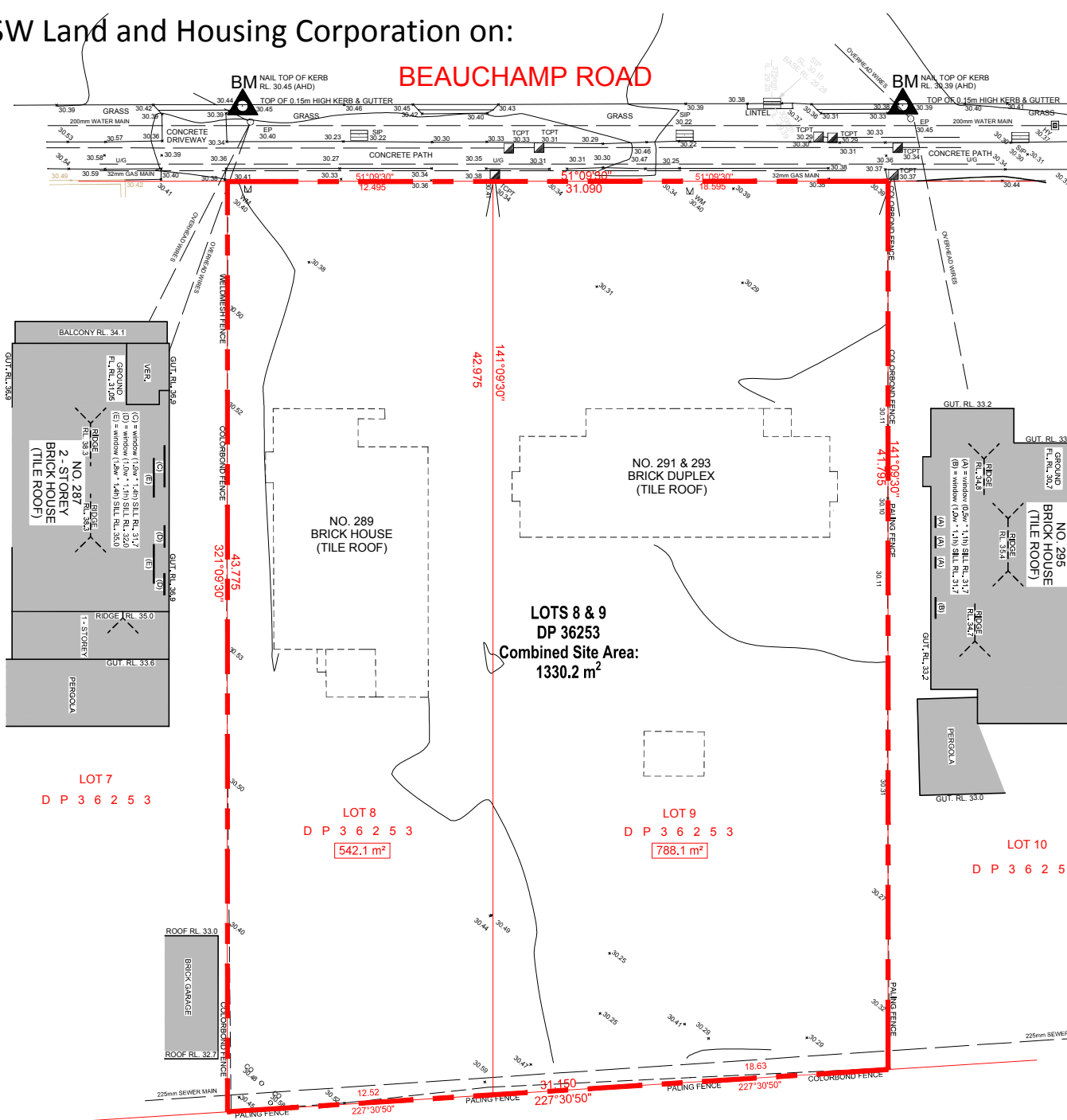
1 May 2023



DETERMINED by the NSW Land and Housing Corporation on:

Chad

1 May 2023



Rev	Description	Date
A	Issue for Development Application	2021-12-10

DETERMINED by the NSW Land and Housing Corporation on:
1 May 2023

UPGRADE KERB
RAMPS TO BE
COMPLIANT
WITH AS1428.1¹⁸³
D P 3 6 1 1 8

GAINFORD AVENUE

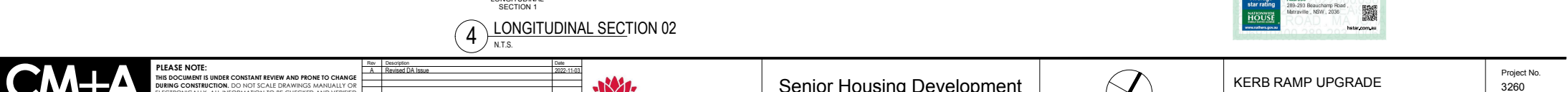
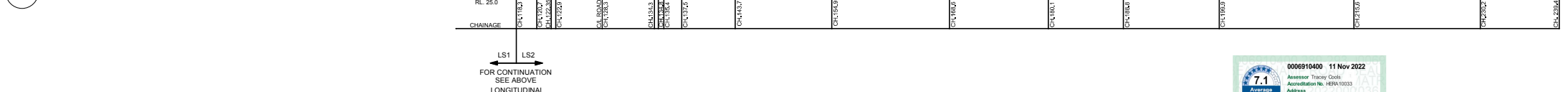
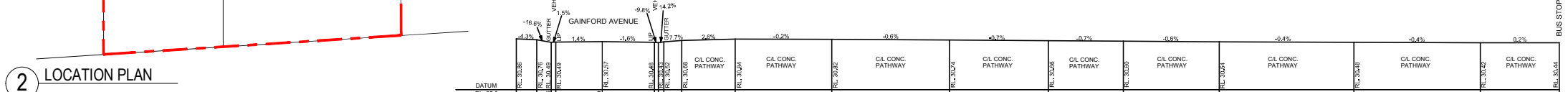
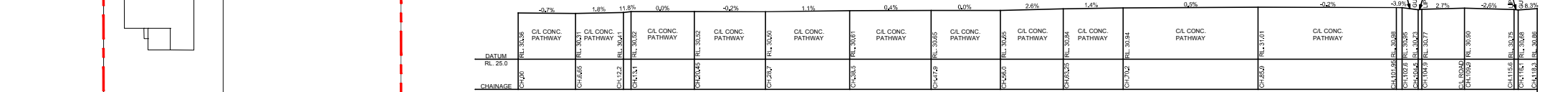
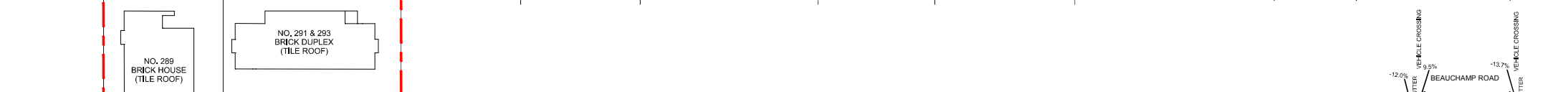
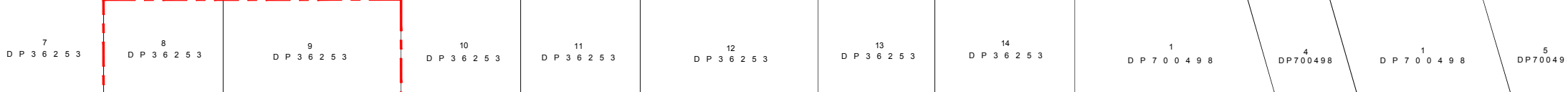
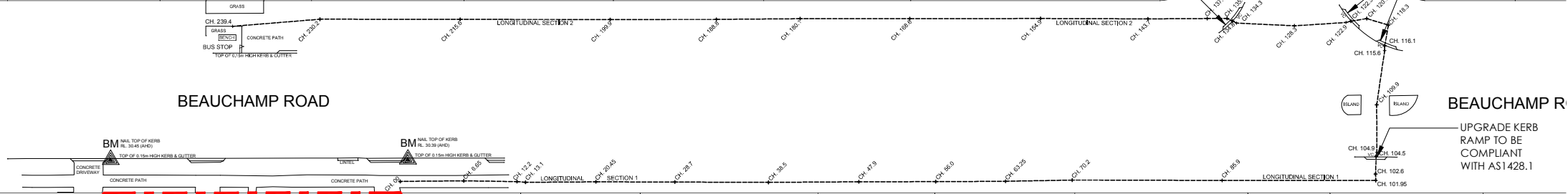
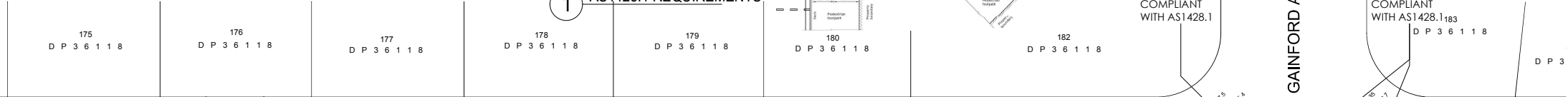
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WITH AS1428.1

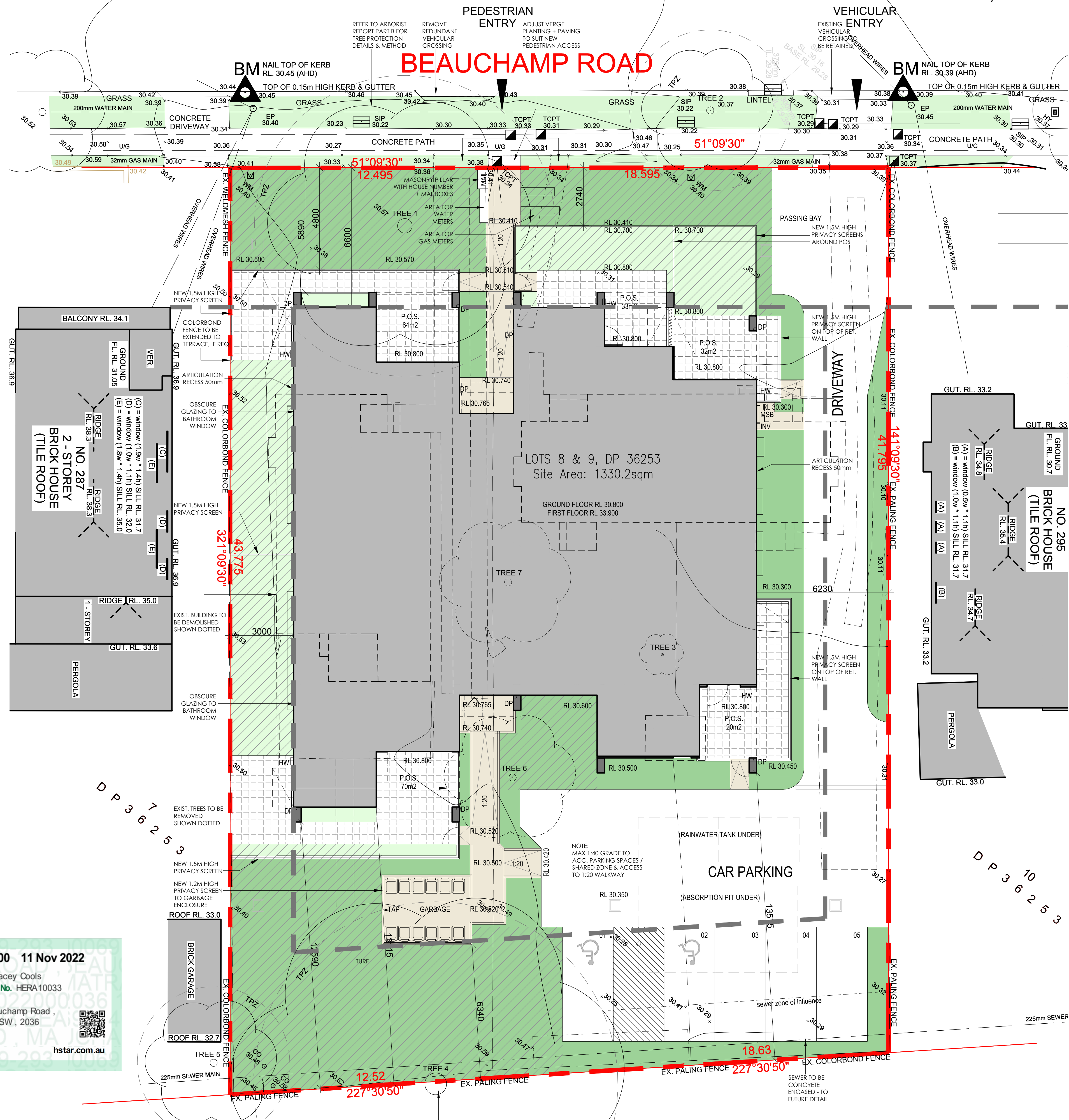
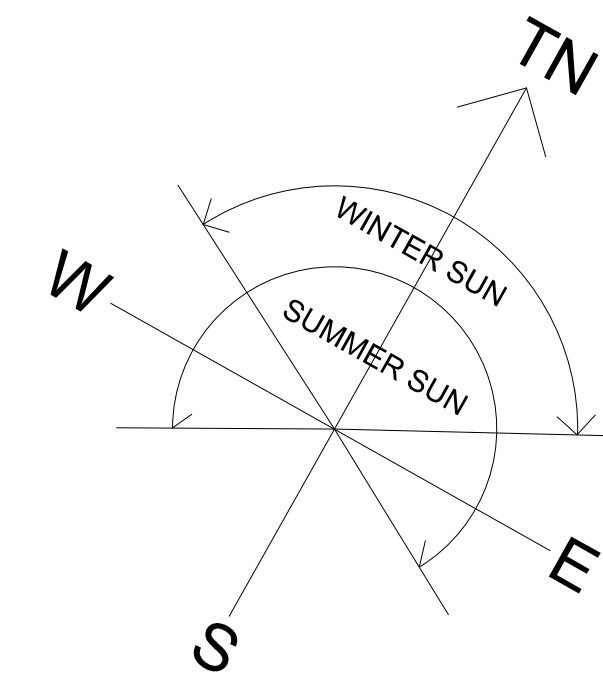
BEAUCHAMP R

UPGRADE KERB
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COMPLIANT
WITH AS1428.1

1 AS1428.1 REQUIREMENTS

BEAUCHAMP ROAD





DEVELOPMENT DATA TABLE

SITE INFORMATION	
ADDRESS	289 - 293 BEAUCHAMP ROAD
DP / LOT	LOTS 8 & 9, DP 36253
SITE AREA	1330.2 m ²

NO. OF UNITS:		10 UNITS		
BEDROOM MIX:		4x 2-Beds, 6x 1-Beds		
UNITS	# BEDS	LEVEL	INT. AREA	P.O.S.
Unit 01	2 Bed	GF	72 m ²	64 m ²
Unit 02	2 Bed	GF	72 m ²	70 m ²
Unit 03	1 Bed	GF	53 m ²	33 m ²
Unit 04	1 Bed	GF	62 m ²	32 m ²
Unit 05	1 Bed	GF	55 m ²	20 m ²
Unit 06	2 Bed	L1	72 m ²	13 m ²
Unit 07	2 Bed	L1	72 m ²	13 m ²
Unit 08	1 Bed	L1	53 m ²	8 m ²
Unit 09	1 Bed	L1	62 m ²	12 m ²
Unit 10	1 Bed	L1	55 m ²	11 m ²

GFA (LEP)	FSR (LEP)	GFA (SEPP)	FSR (SEPP)
730 m ²	0.55:1	741 m ²	0.56:1

OTHER CONTROLS			
	CONTROL	REQUIREMENT	PROPOSED
CAR PARKING	H SEPP	1 space per 5 dwellings	5 spaces (incl. 2 accessible) + turning bay
	LAHC	1-bed: 0.4 space 2-bed: 0.5 space	
FRONT SETBACKS	H SEPP / DCP	exist. building line, min. 3m	6.600 m
SIDE SETBACKS	DCP	min. 4m	3.000 West / 6.230 East
REAR SETBACK	DCP	15% of site depth / min. 5m	min. 13.115 m
LAND-SCAPING	H SEPP	min. 35m ² / dwelling (350m ²)	445 m ² (33% of site)
DEEP SOIL	H SEPP	min. 15% of site (199.3m ²)	341 m ² (26% of site)
		min. 65% at rear of site (129.7m ²)	160 m ²
SOLAR ACCESS	H SEPP	min 2h to 70% of dwellings	80 % (8/10 units)
PRIVATE OPEN SPACE	H SEPP	GF: 15m ² per dwelling, min 3m FF: 1-bed: 6m ² (LAHC: 8m ²) 2-bed: 10m ² , min 2m	GF: 20-70m ² per dwelling, min 3m FF: 1-bed: 8-12 m ² , min 2m 2-bed: 13 m ² , min 2m

KEY:

	1-BEDROOM UNIT		DEMOLITION (BUILDING)
	2-BEDROOM UNIT		DEMOLITION (SITE FEATURES)
	PRIVATE TERRACE		CLEARANCES
	COMMON AREA		CLOTHES LINE
	PRIVATE LANDSCAPE		HOT WATER HEATER
	COMMON LANDSCAPE		DOWNPIPES
	DEEP SOIL LANDSCAPE		
	PATH		
	EXISTING TREE		
	TREE TO BE REMOVED		
	TREE PROTECTION ZONE		
	EXISTING CONTOUR LINES		
	BOUNDARY		
	SETBACK		



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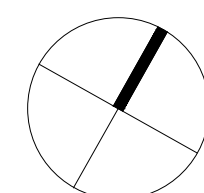
Rev	Description	Date
A	Design Development Issue	2021-11-05
B	Issue for Consultants	2021-11-22
C	Issue for Development Application	2021-12-10
D	Revised DA Issue	2022-01-21
E	Revised DA Issue - Garbage Enclosure at Rear	2022-02-08
F	Revised DA Issue - Garbage Enclosure at Rear - extended aisle	2022-02-09
G	Revised DA Issue - Dead Tree 5 removed	2022-02-22
H	Amended Development Data Table	2022-04-04
I	Revised DA Issue	2022-11-01
J	Additional detail in response to Council comments	2023-02-03



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Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



SITE PLAN

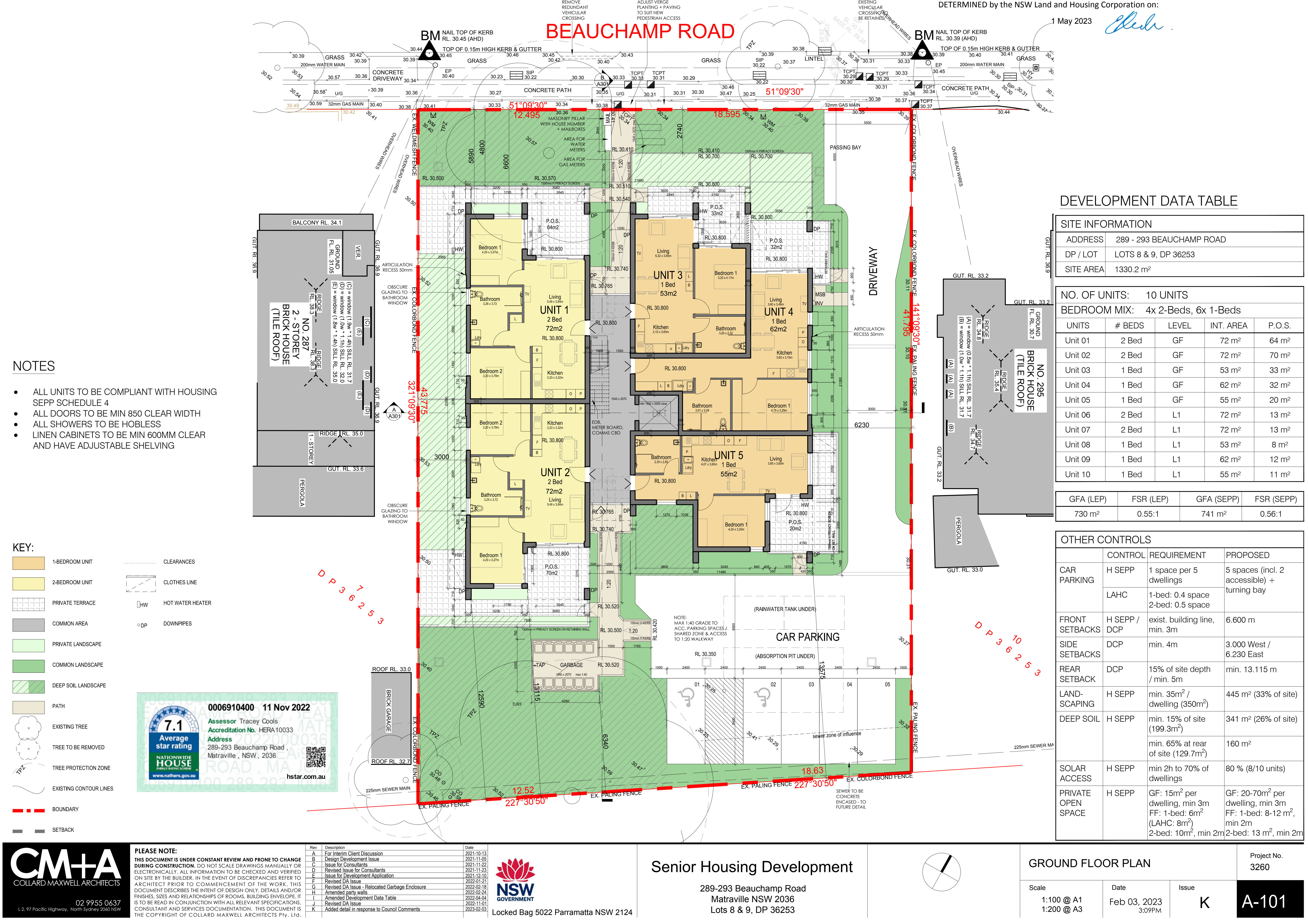
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1:200 @ A3

Date
Feb 03, 2023
3:09PM

Issue
J

Project No.
3260

A-100



NOTES

- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
- ALL DOORS TO BE MIN 850 CLEAR WIDTH
- ALL SHOWERS TO BE HOBLESS
- LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVING

KEY:

[Symbol]	1-BEDROOM UNIT	[Symbol]	CLEARANCES
[Symbol]	2-BEDROOM UNIT	[Symbol]	CLOTHES LINE
[Symbol]	PRIVATE TERRACE	[Symbol]	HOT WATER HEATER
[Symbol]	COMMON AREA	[Symbol]	DOWNPIPES
[Symbol]	PRIVATE LANDSCAPE		
[Symbol]	COMMON LANDSCAPE		
[Symbol]	DEEP SOIL LANDSCAPE		
[Symbol]	PATH		
[Symbol]	EXISTING TREE		
[Symbol]	TREE TO BE REMOVED		
[Symbol]	TREE PROTECTION ZONE		
[Symbol]	EXISTING CONTOUR LINES		
[Symbol]	BOUNDARY		
[Symbol]	SETBACK		

0006910400 11 Nov 2022

Assessor Tracey Cools
Accreditation No. HERA10033
Address 289-293 Beauchamp Road, Matraville, NSW, 2036

7.1 Average star rating
NATIONWIDE HOUSE
www.nathers.gov.au

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CM+A
COLLARD MAXWELL ARCHITECTS

02 9955 0637
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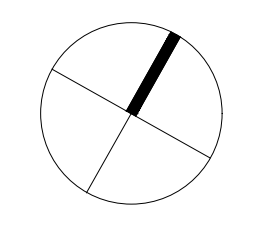
Rev	Description	Date
A	For Interim Client Discussion	2021-10-13
B	Design Development Issue	2021-11-05
C	Issue for Consultants	2021-11-22
D	Revised Issue for Consultants	2021-11-23
E	Issue for Development Application	2021-12-10
F	Revised DA Issue	2022-01-21
G	Revised DA Issue - Relocated Garbage Enclosure	2022-02-18
H	Amended party walls	2022-02-24
I	Amended Development Data Table	2022-04-04
J	Revised DA Issue	2022-11-01
K	Added detail in response to Council Comments	2023-02-03

NSW GOVERNMENT

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Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



GROUND FLOOR PLAN

Scale	Date	Issue	Project No.
1:100 @ A1 1:200 @ A3	Feb 03, 2023 3:09PM	K	3260

A-101

NOTES

- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
- ALL DOORS TO BE MIN 850 CLEAR WIDTH
- ALL SHOWERS TO BE HOBLESS
- LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVING

KEY:

- 1-BEDROOM UNIT
- 2-BEDROOM UNIT
- PRIVATE TERRACE
- COMMON AREA
- PRIVATE LANDSCAPE
- COMMON LANDSCAPE
- DEEP SOIL LANDSCAPE
- PATH
- EXISTING TREE
- TREE TO BE REMOVED
- TREE PROTECTION ZONE
- EXISTING CONTOUR LINES
- BOUNDARY
- SETBACK
- CLEARANCES
- CLOTHES LINE
- HOT WATER HEATER
- DOWNPIPES



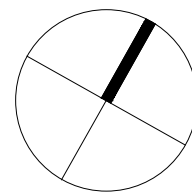
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H	Amended party walls	2022-02-24
I	Amended Development Data Table	2022-04-04
J	Revised DA Issue	2022-11-01
K	Added detail in response to Council comments	2023-02-03

Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



FIRST FLOOR PLAN

Scale
1:100 @ A1
1:200 @ A3

Date
Feb 03, 2023
3:09PM

Issue

K

Project No.
3260

A-102

DEVELOPMENT DATA TABLE

SITE INFORMATION

ADDRESS	289 - 293 BEAUCHAMP ROAD
DP / LOT	LOTS 8 & 9, DP 36253
SITE AREA	1330.2 m ²

NO. OF UNITS: 10 UNITS

BEDROOM MIX: 4x 2-Beds, 6x 1-Beds

UNITS	# BEDS	LEVEL	INT. AREA	P.O.S.
Unit 01	2 Bed	GF	72 m ²	64 m ²
Unit 02	2 Bed	GF	72 m ²	70 m ²
Unit 03	1 Bed	GF	53 m ²	33 m ²
Unit 04	1 Bed	GF	62 m ²	32 m ²
Unit 05	1 Bed	GF	55 m ²	20 m ²
Unit 06	2 Bed	L1	72 m ²	13 m ²
Unit 07	2 Bed	L1	72 m ²	13 m ²
Unit 08	1 Bed	L1	53 m ²	8 m ²
Unit 09	1 Bed	L1	62 m ²	12 m ²
Unit 10	1 Bed	L1	55 m ²	11 m ²

GFA (LEP)	FSR (LEP)	GFA (SEPP)	FSR (SEPP)
730 m ²	0.55:1	741 m ²	0.56:1

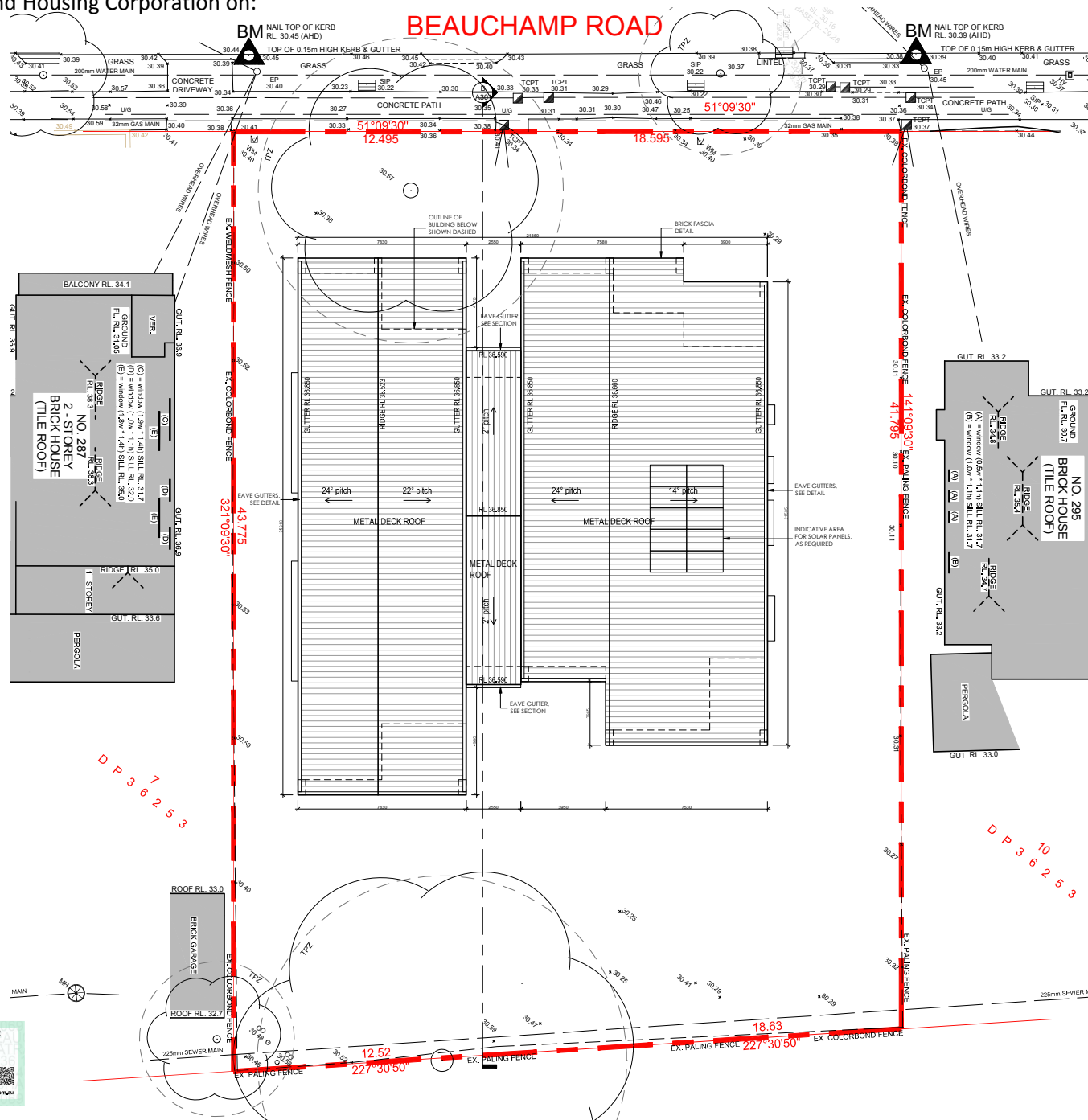
OTHER CONTROLS

	CONTROL	REQUIREMENT	PROPOSED
CAR PARKING	H SEPP	1 space per 5 dwellings	5 spaces (incl. 2 accessible) + turning bay
	LAHC	1-bed: 0.4 space 2-bed: 0.5 space	
FRONT SETBACKS	H SEPP / DCP	exist. building line, min. 3m	6.600 m
SIDE SETBACKS	DCP	min. 4m	3.000 West / 6.230 East
REAR SETBACK	DCP	15% of site depth / min. 5m	min. 13.115 m
LAND-SCAPING	H SEPP	min. 35m ² / dwelling (350m ²)	445 m ² (33% of site)
DEEP SOIL	H SEPP	min. 15% of site (199.3m ²)	341 m ² (26% of site)
		min. 65% at rear of site (129.7m ²)	160 m ²
SOLAR ACCESS	H SEPP	min 2h to 70% of dwellings	80 % (8/10 units)
PRIVATE OPEN SPACE	H SEPP	GF: 15m ² per dwelling, min 3m FF: 1-bed: 6m ² (LAHC: 8m ²) 2-bed: 10m ² , min 2m	GF: 20-70m ² per dwelling, min 3m FF: 1-bed: 8-12 m ² , min 2m 2-bed: 13 m ² , min 2m

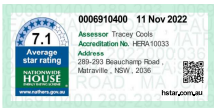
DETERMINED by the NSW Land and Housing Corporation on:

Chad

1 May 2023



Red



- KEY:**
- 1-BEDROOM UNIT
 - 2-BEDROOM UNIT
 - PRIVATE TERRACE
 - CLEARANCES
 - CLOTHES LINE

NOTES

- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
- ALL DOORS TO BE MIN 850 CLEAR WIDTH
- ALL SHOWERS TO BE HOBLESS
- LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVING

Rev	Description	Date
A	Revised DA Issue	2022-01-21
B	Revised DA Issue - Relocated Carriage Enclosure	2022-02-10
C	Amended party walls	2022-02-24
D	Amended Development Data Table	2022-04-04



Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



UNIT LAYOUT - UNITS 1 & 2

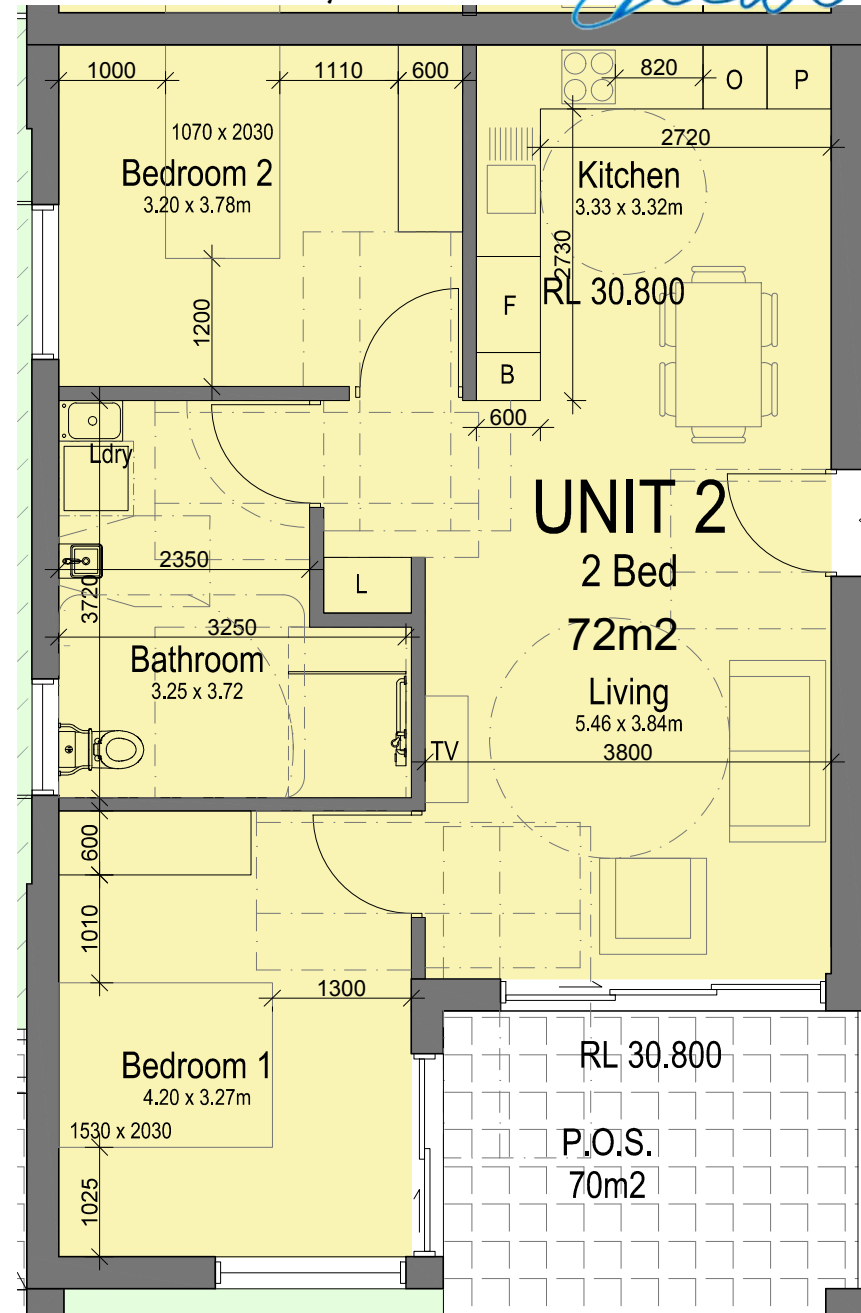
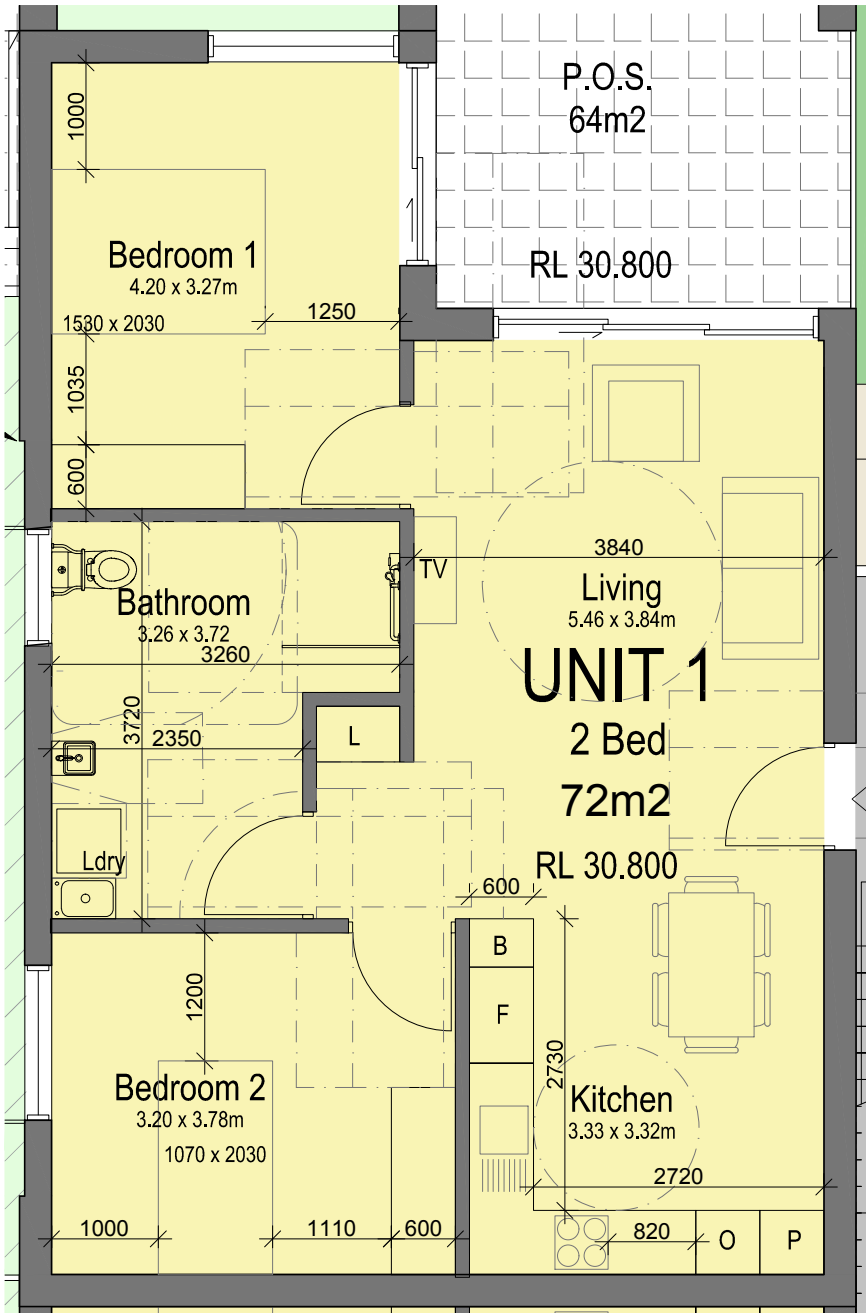
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Apr 04, 2022
11:36AM

Issue
D

Project No.
3260

A-121



1 May 2023

*Chen*P.O.S.
32m²

RL 30.800

3600

Living
3.60 x 3.48m

UNIT 4

1 Bed

62m²Kitchen
3.60 x 3.15m

1930

F

O

820

820

1240

Bedroom 1
4.75 x 3.29m

1050

Bathroom
3.01 x 3.29

3010

600

UNIT LAYOUT - UNITS 3 & 4

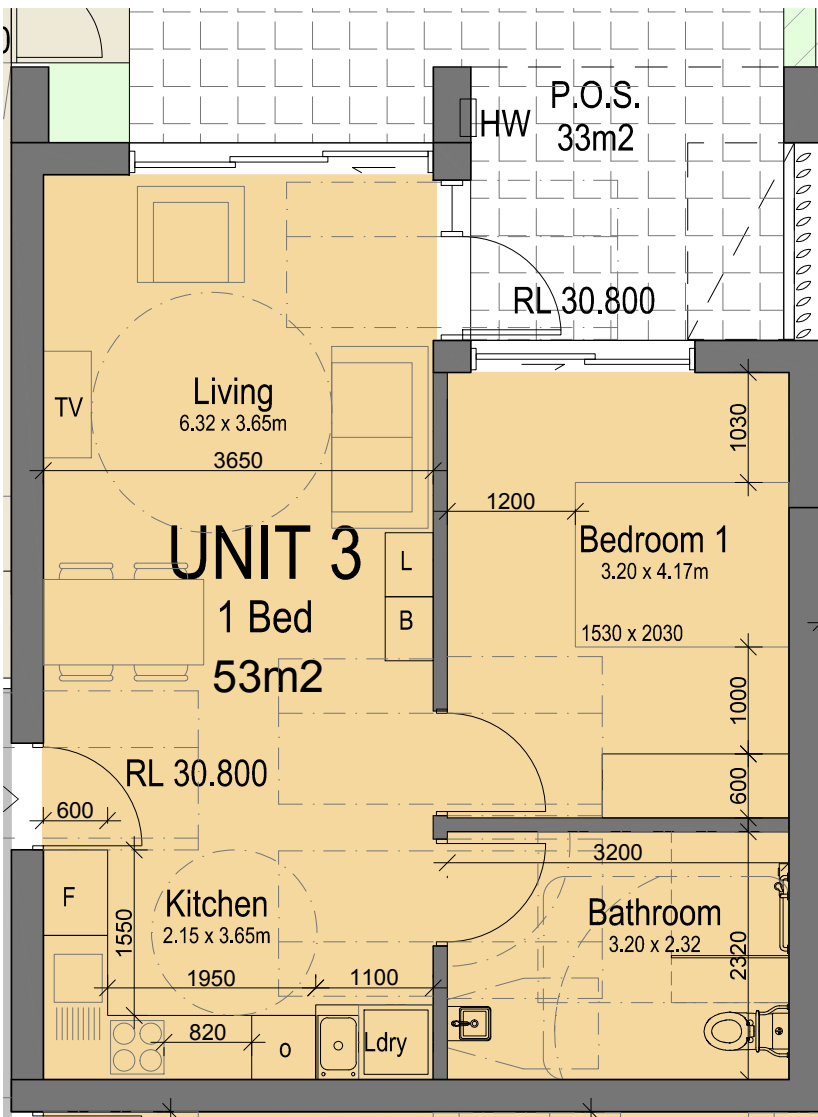
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11:37AMIssue
D

A-122

Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253

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KEY:

- 1-BEDROOM UNIT
- 2-BEDROOM UNIT
- PRIVATE TERRACE
- CLEARANCES
- CLOTHES LINE



NOTES

- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
- ALL DOORS TO BE MIN 850 CLEAR WIDTH
- ALL SHOWERS TO BE HOBLESS
- LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVING






PLEASE NOTE:

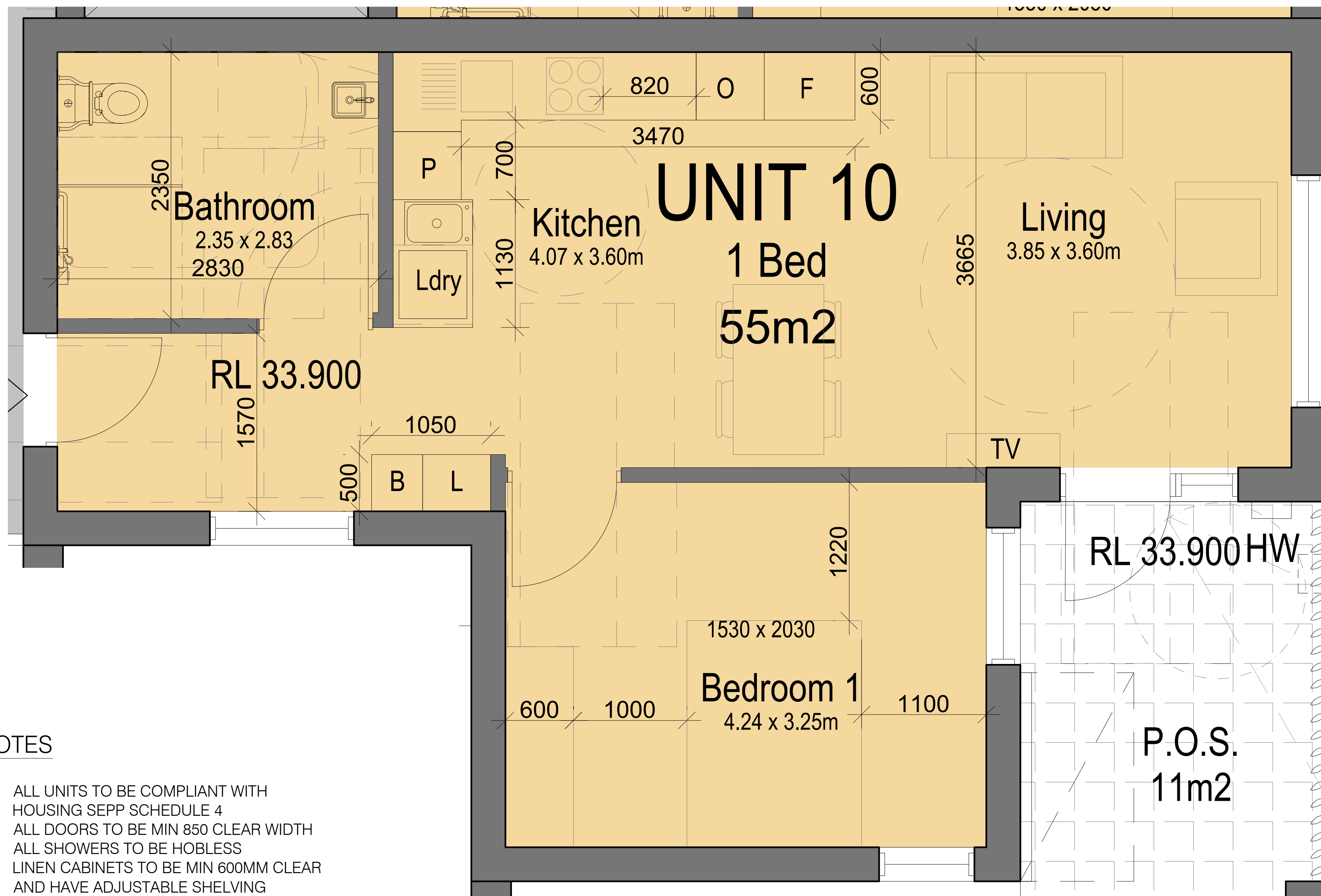
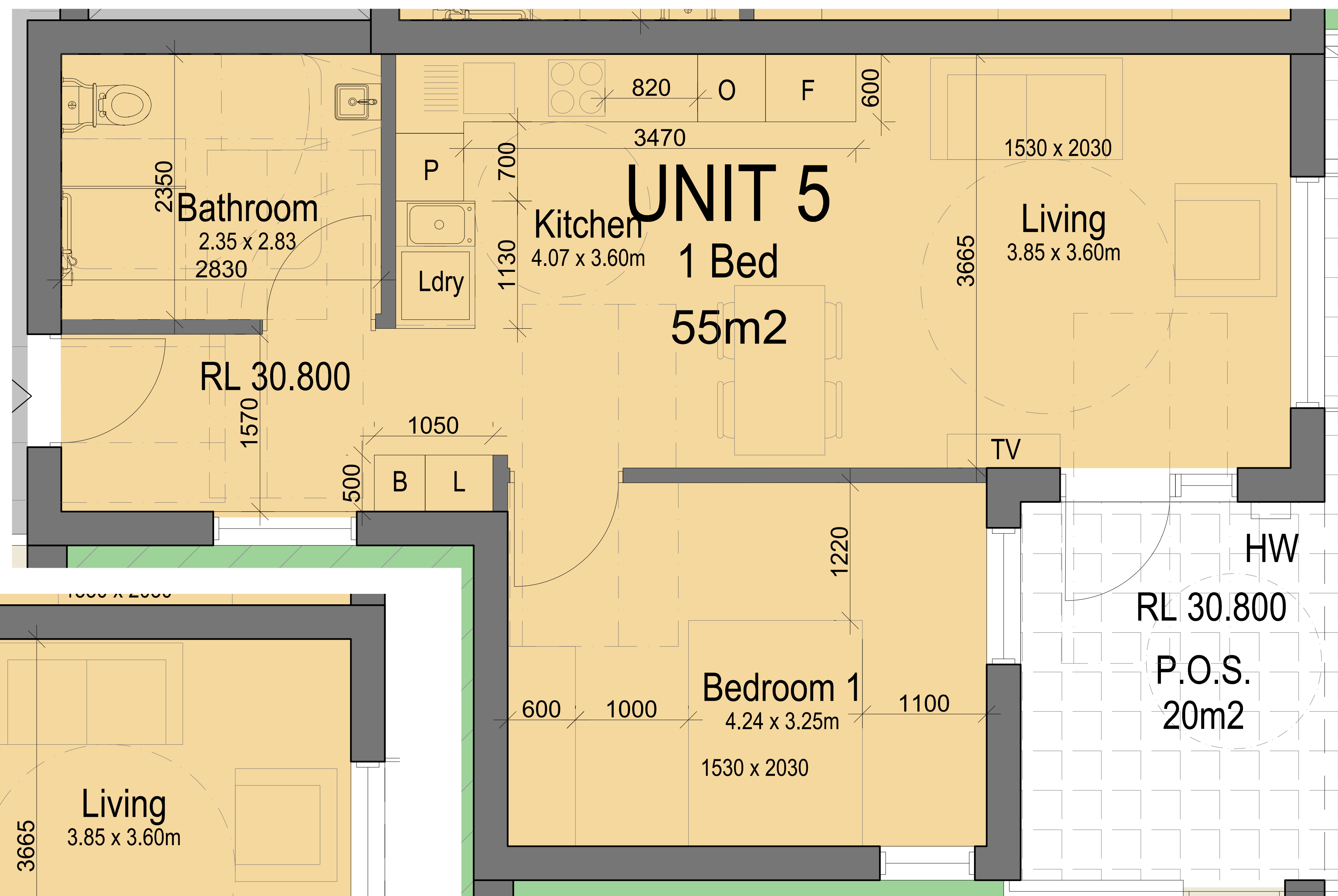
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Rev	Description	Date
A	Revised DA Issue	2022-01-21
B	Revised DA Issue - Relocated Carriage Enclosure	2022-02-24
C	Amended party walls	2022-02-24
D	Amended Development Data Table	2022-04-04

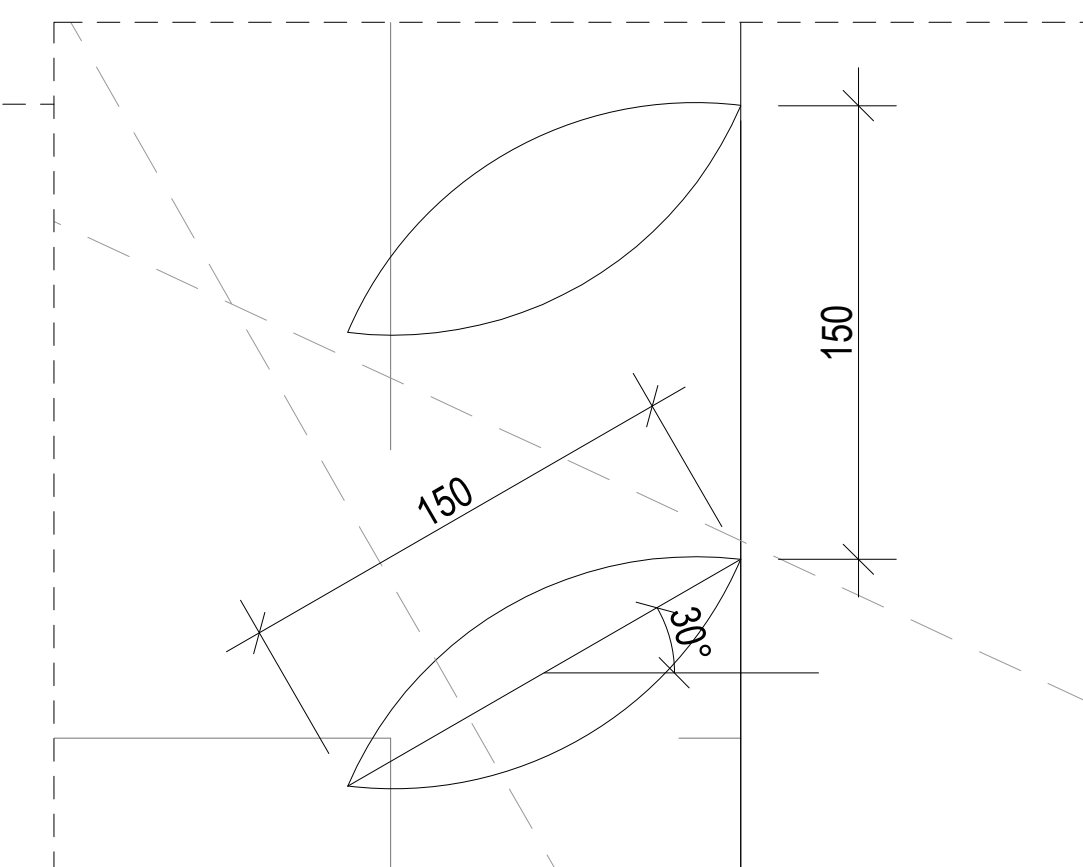
CM+A
COLLARD MAXWELL ARCHITECTS

02 9955 0637
1/2, 97 Pacific Highway, North Sydney 2060 NSW

-  1-BEDROOM UNIT
-  2-BEDROOM UNIT
-  PRIVATE TERRACE
-  CLEARANCES
-  CLOTHES LINE



- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
- ALL DOORS TO BE MIN 850 CLEAR WIDTH
- ALL SHOWERS TO BE HOBLESS
- LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVEING



LOUVRE DETAIL SCALE 1:2.5@A1 / 1:5@A3



PLEASE NOTE:

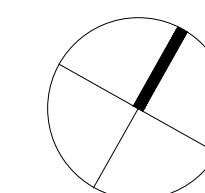
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[illegible]

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Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



UNIT LAYOUT - UNITS 5 & 10

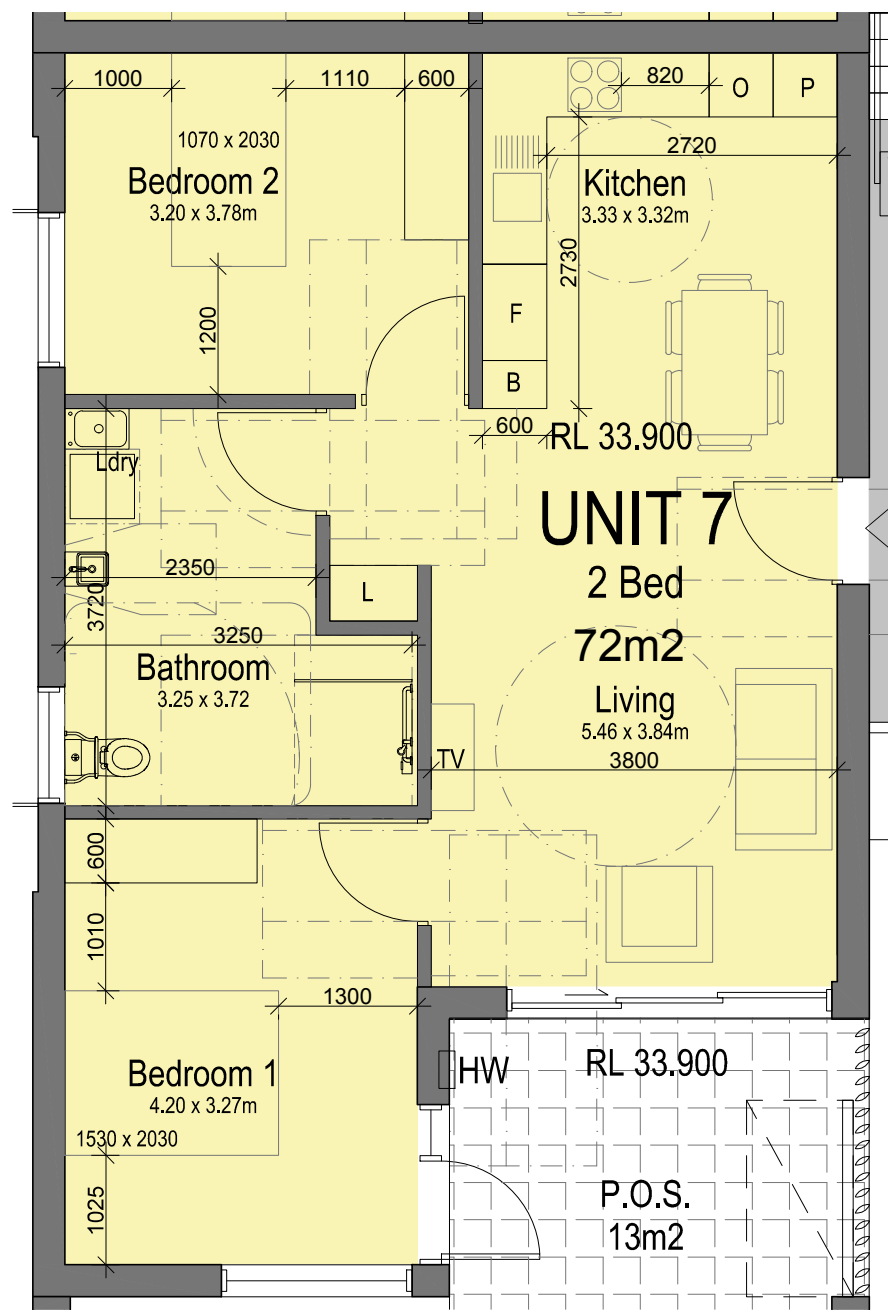
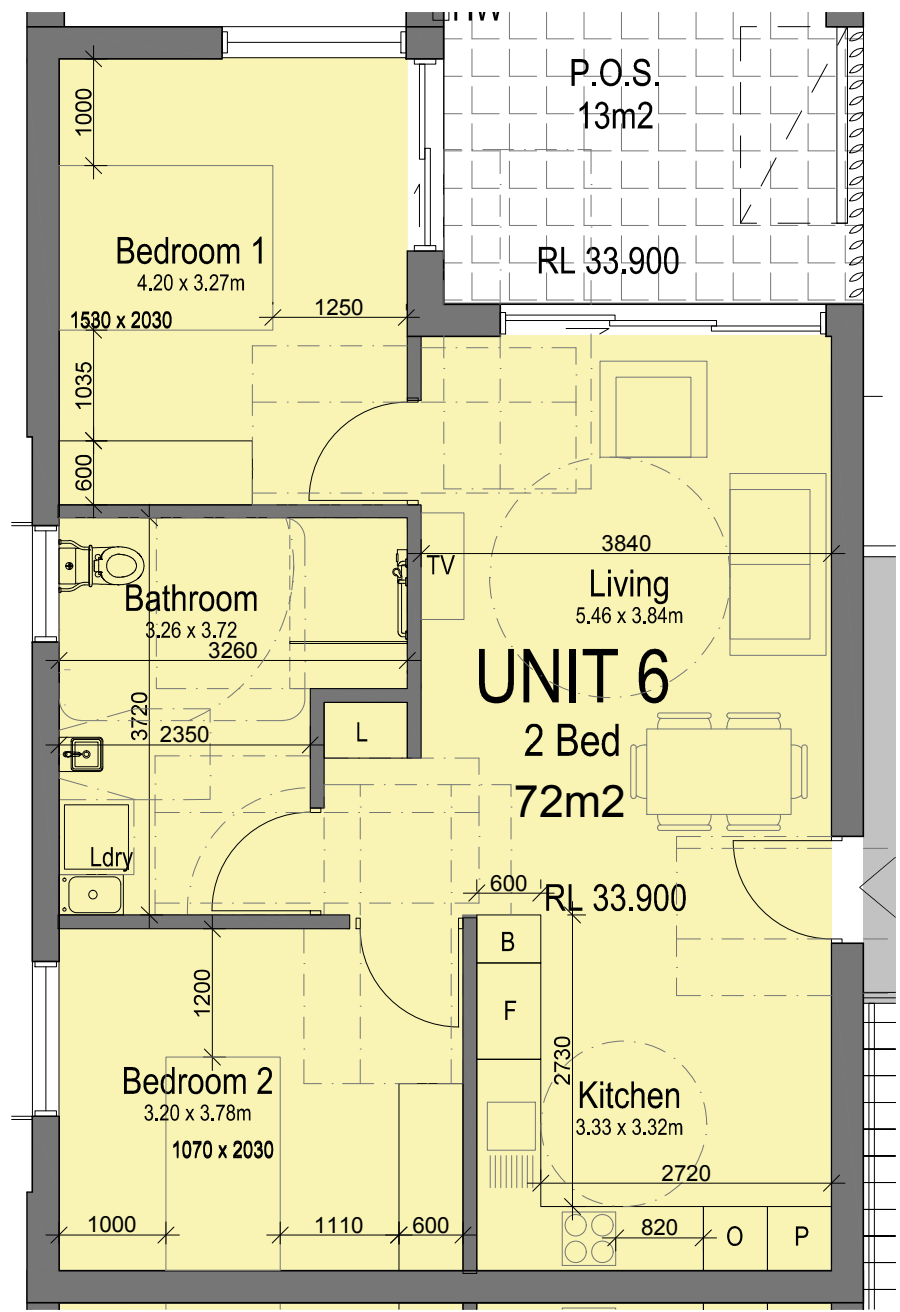
Scale	Date	Issue	A-123
1:25 @ A1 1:50 @ A3	Feb 03, 2023 3:10PM	E	

Project No.
3260

DETERMINED by the NSW Land and Housing Corporation on:

Check

1 May 2023



- KEY:
- 1-BEDROOM UNIT
 - 2-BEDROOM UNIT
 - PRIVATE TERRACE
 - CLEARANCES
 - CLOTHES LINE

- NOTES
- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
 - ALL DOORS TO BE MIN 850 CLEAR WIDTH
 - ALL SHOWERS TO BE HOBLESS
 - LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVING



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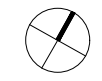
Rev	Description	Date
A	Revised DA Issue	2022-01-21
B	Revised DA Issue - Relocated Carriage Enclosure	2022-02-03
C	Amended party walls	2022-02-24
D	Amended Development Data Table	2022-04-04



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289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



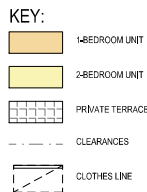
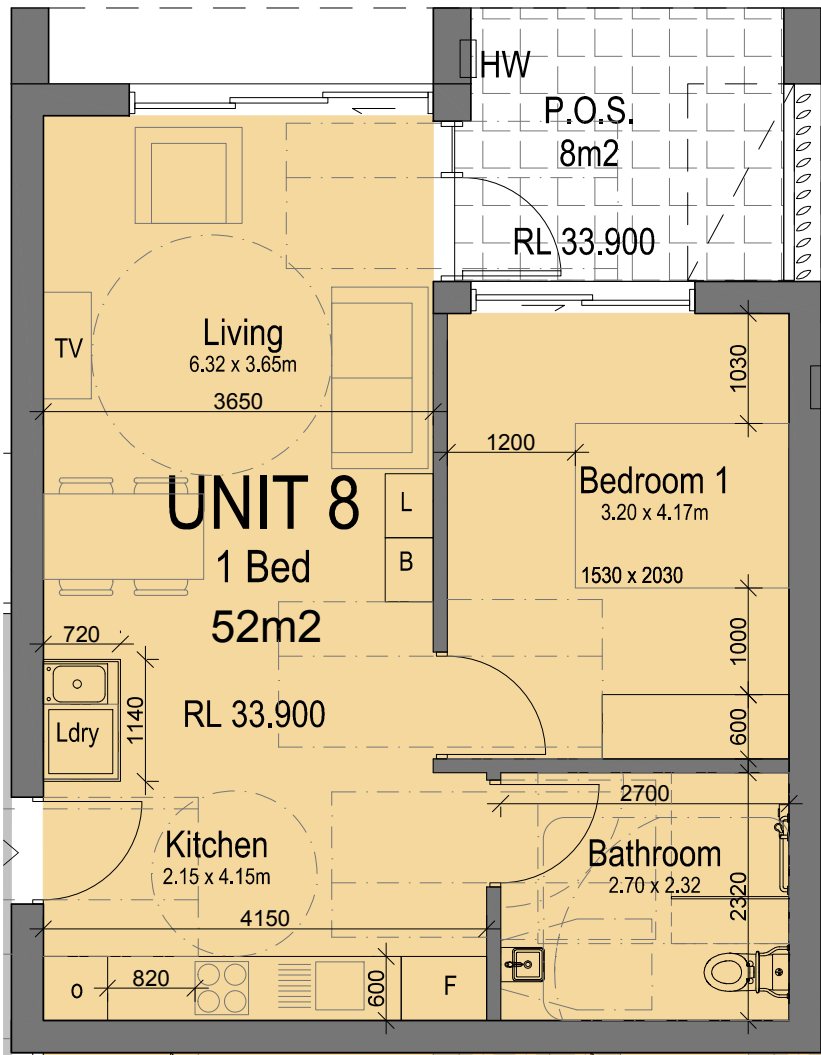
UNIT LAYOUT - UNITS 6 & 7

Scale	Date	Issue	Project No.
1:25 @ A1 1:50 @ A3	Apr 04, 2022 11:38AM	D	3260
A-124			

DETERMINED by the NSW Land and Housing Corporation on:

Chen

1 May 2023



NOTES

- ALL UNITS TO BE COMPLIANT WITH HOUSING SEPP SCHEDULE 4
- ALL DOORS TO BE MIN 850 CLEAR WIDTH
- ALL SHOWERS TO BE HOBLESS
- LINEN CABINETS TO BE MIN 600MM CLEAR AND HAVE ADJUSTABLE SHELVING

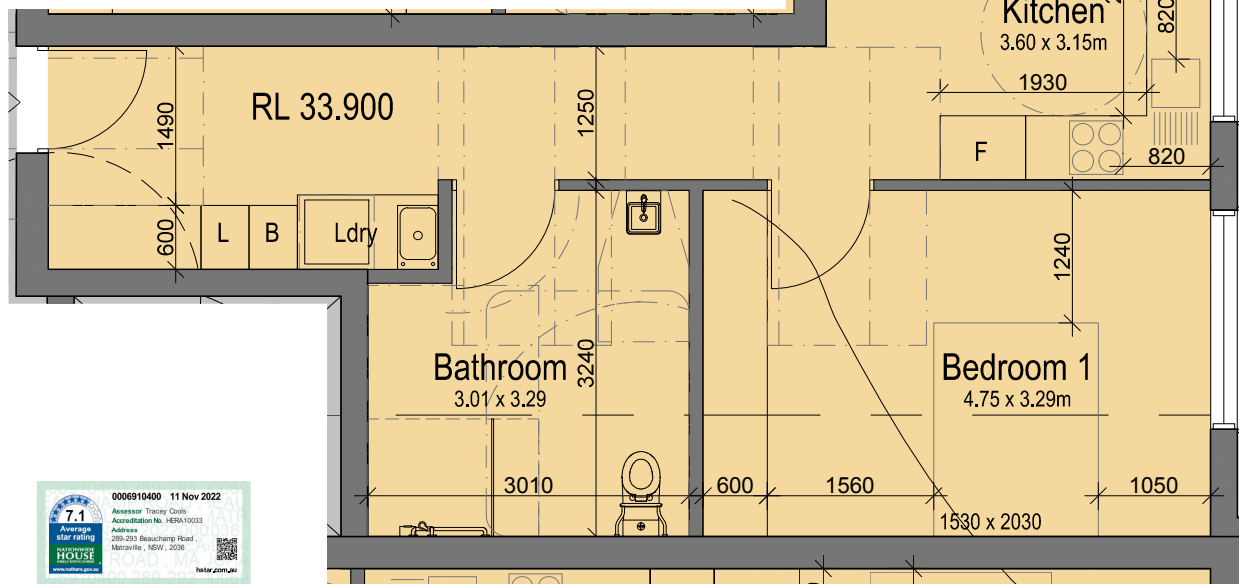
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Rev	Description	Date
A	Revised DA Issue	2022-01-21
B	Revised DA Issue - Relocated Carriage Enclosure	2022-02-13
C	Amended party walls	2022-02-22
D	Amended Development Data Table	2022-04-04



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Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



UNIT LAYOUT - UNITS 8 & 9

Scale
1:25 @ A1
1:50 @ A3

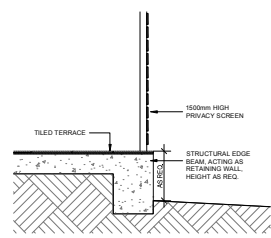
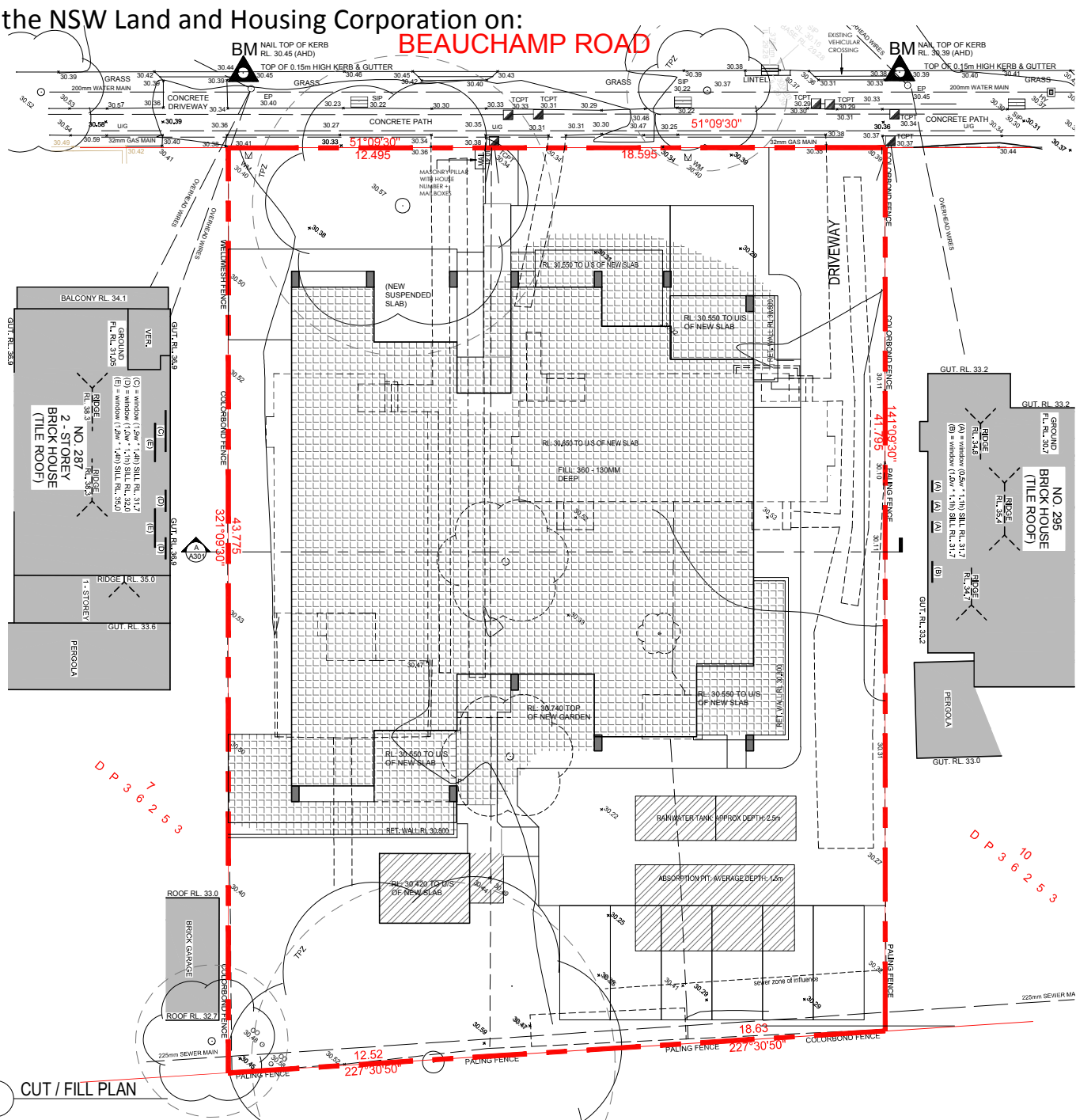
Date
Apr 04, 2022
11:38AM

Issue
D

Project No.
3260

A-125

DETERMINED by the NSW Land and Housing Corporation on:
1 May 2023



2 RETAINING WALL SECTION
SCALE 1:20

- KEY:
- CUT
 - FILL
 - DEMOLITION (BUILDING)
 - DEMOLITION (SITE FEATURES)
 - NEW BUILDING
 - NEW SITE WORK

1 CUT / FILL PLAN

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Rev	Description	Date
A	Issue for Development Application	2021-12-10
B	Revised DA Issue	2022-01-11
C	Revised DA Issue - Relocated Garbage Enclosure	2022-02-11
D	Revised DA Issue - Deep Trench removed	2022-02-22
E	Revised Development Control Table	2022-05-04
F	Revised DA Issue	2022-11-01

NSW GOVERNMENT
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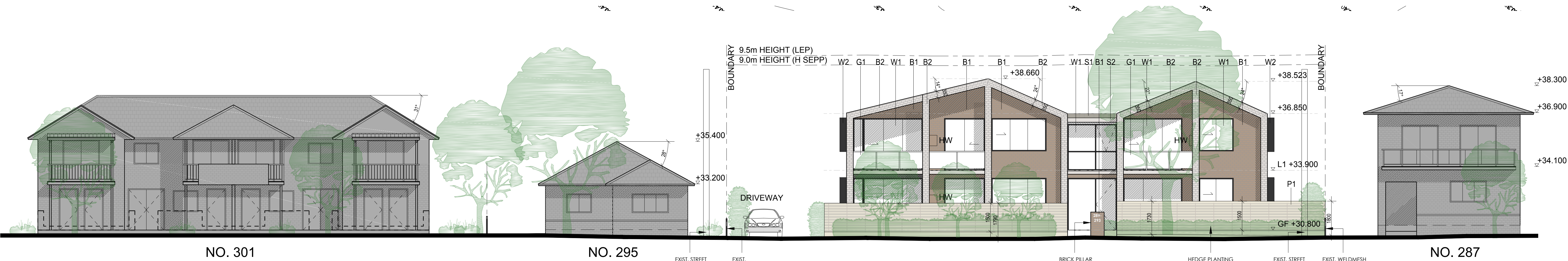
Senior Housing Development
289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



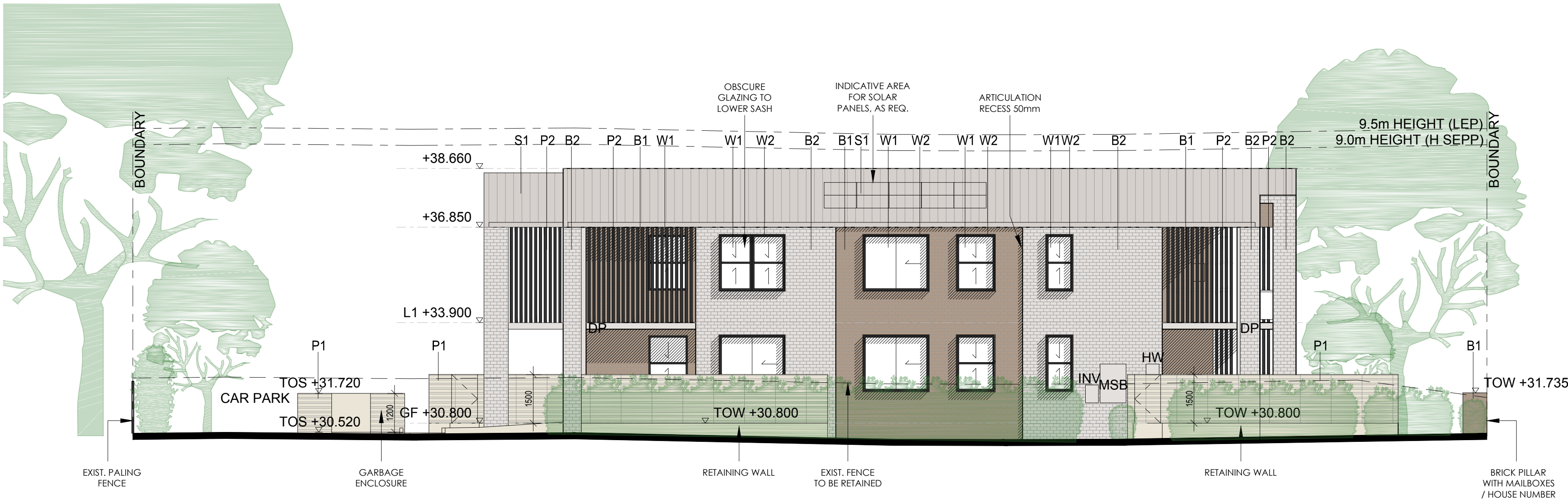
CUT / FILL PLAN, DEMOLITION
Scale 1:100 @ A1
1:200 @ A3
Date Nov 01, 2022 11:37AM
Issue F

Project No. 3260
A-151

0006910400 11 Nov 2022
Assessor Tracey Cooks
Accreditation No. - HPA10033
Address 289-293 Beauchamp Road
Matraville NSW 2036
7.1 Average star rating
HOUSE
www.easystar.com.au



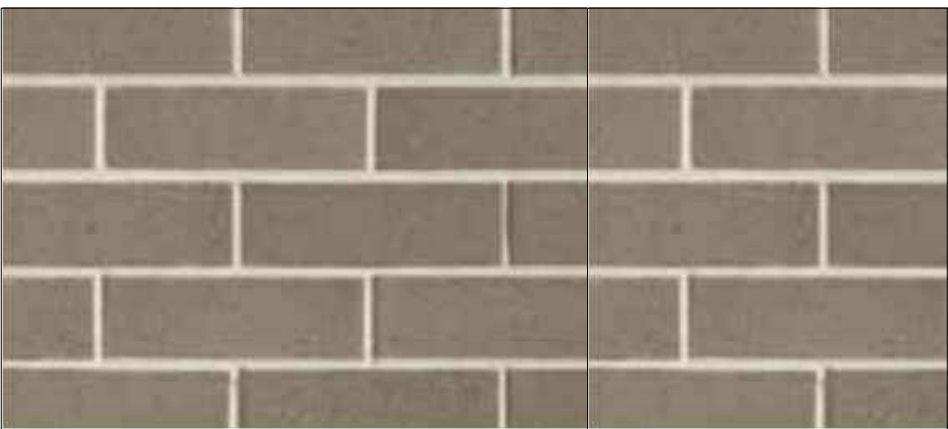
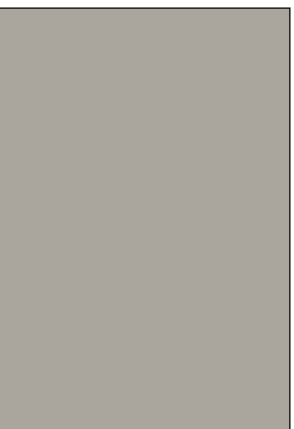
1 NORTHERN ELEVATION / STREETSCAPE



2 EASTERN ELEVATION



S1 STEEL COLOURBOND ROOF, COLOUR: DUNE



B1 FACE BRICKWORK: AUSTRALBRICKS - MINERAL CONTOURS, GYPSUM TAN



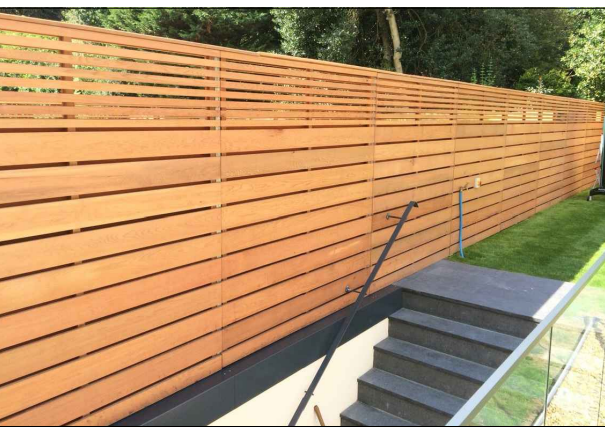
B2 FACE BRICKWORK: AUSTRALBRICKS - SMOKED COLLECTION, GREY CASHMERE



W1 DARK WINDOW FRAMES
W2 DARK WINDOW SURROUND



G1 GLASS BALUSTRADES, LIGHTLY FROSTED



P1 PRIVACY SCREENS, METAL SLATS



P2 DARK METAL VERTICAL LOUVRES

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Rev	Description	Date
A	For Interim Client Discussion	2021-10-13
B	Design Development Issue	2021-11-05
C	Issue for Consultants	2021-11-22
D	Revised Issue for Consultants	2021-11-23
E	Issue for Development Application	2021-12-10
F	Revised DA Issue	2022-01-21
G	Revised DA Issue - Relocated Garbage Enclosure	2022-02-18
H	Minor amendments to colours	2022-03-08
I	Revised Development Data Table	2022-04-04
J	Revised DA Issue	2022-11-01
K	Added detail in response to Council comments	2023-02-03

Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253

ELEVATIONS NORTH / EAST

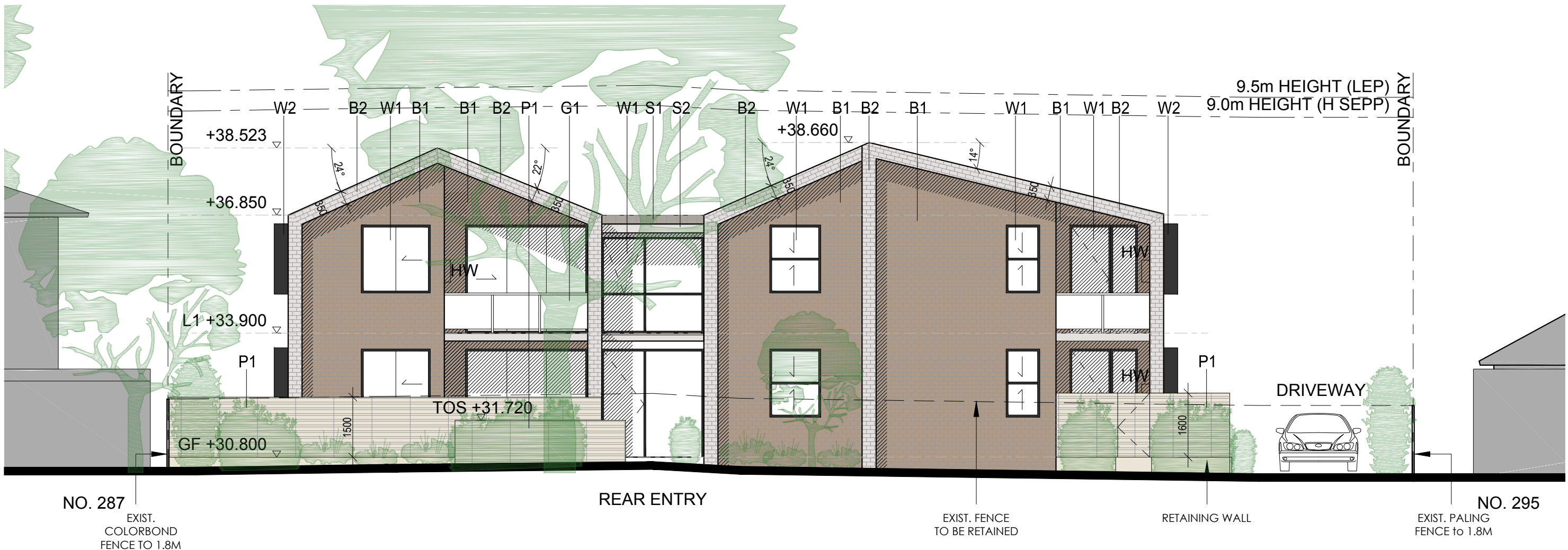
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1:200 @ A3

Date
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3:11PM

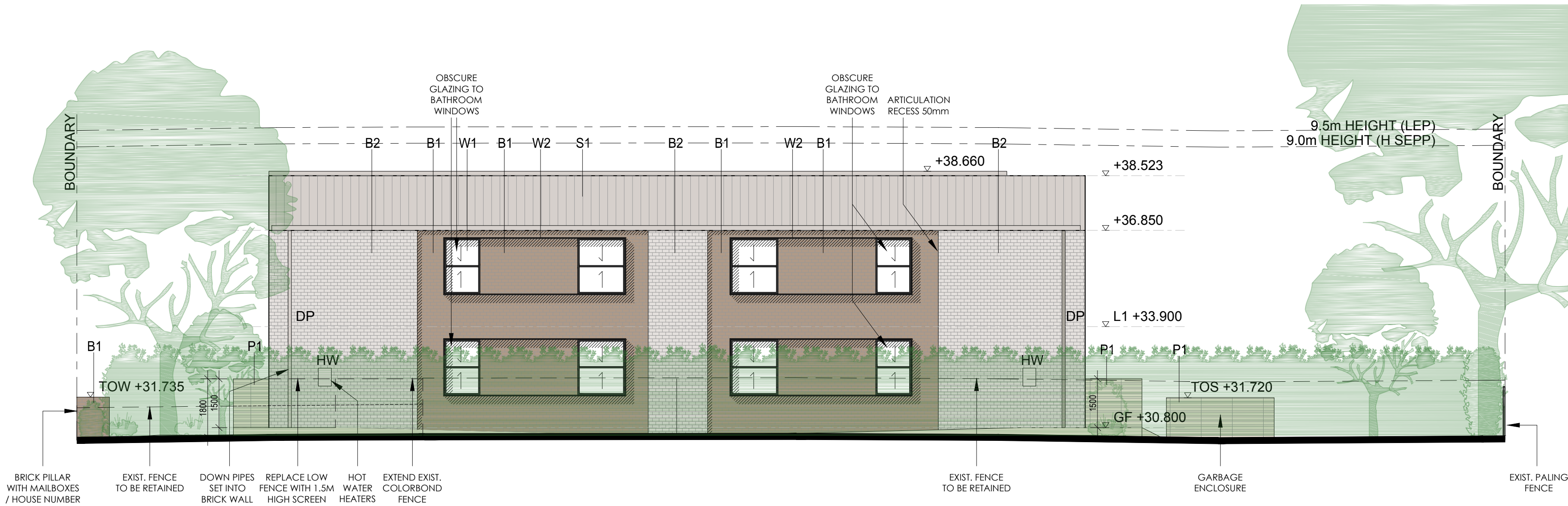
Issue
K

Project No.
3260

A-201



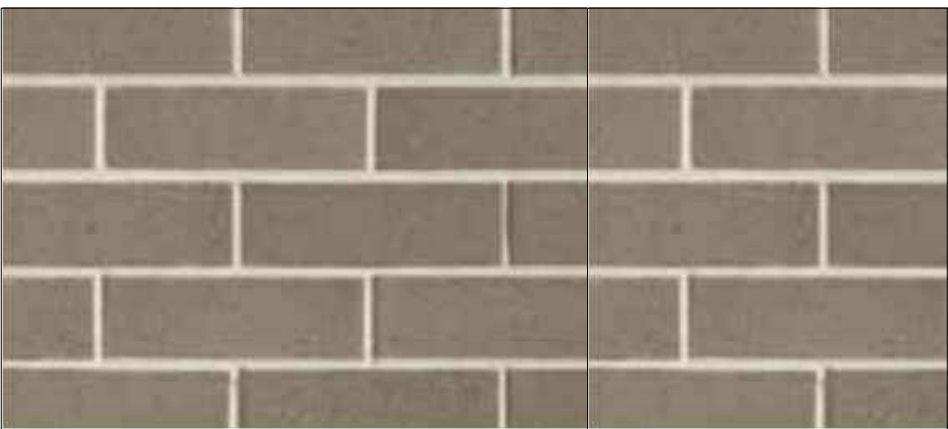
1 SOUTHERN ELEVATION



2 WESTERN ELEVATION



S1 STEEL COLOURBOND ROOF, COLOUR: DUNE



B1 FACE BRICKWORK: AUSTRALBRICKS - MINERAL CONTOURS, GYPSUM TAN



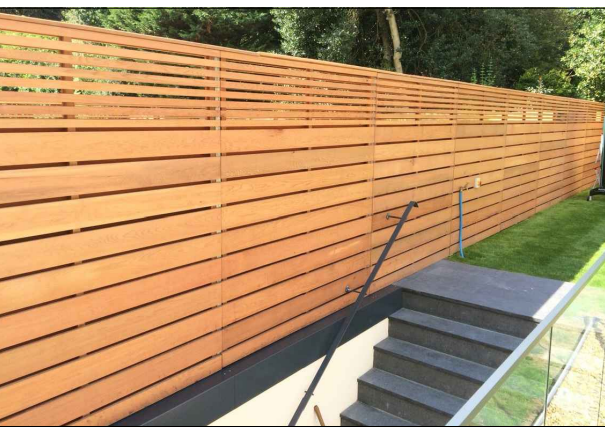
B2 FACE BRICKWORK: AUSTRALBRICKS - SMOKED COLLECTION, GREY CASHMERE



W1 DARK WINDOW FRAMES
W2 DARK WINDOW SURROUND



G1 GLASS BALUSTRADES, LIGHTLY FROSTED



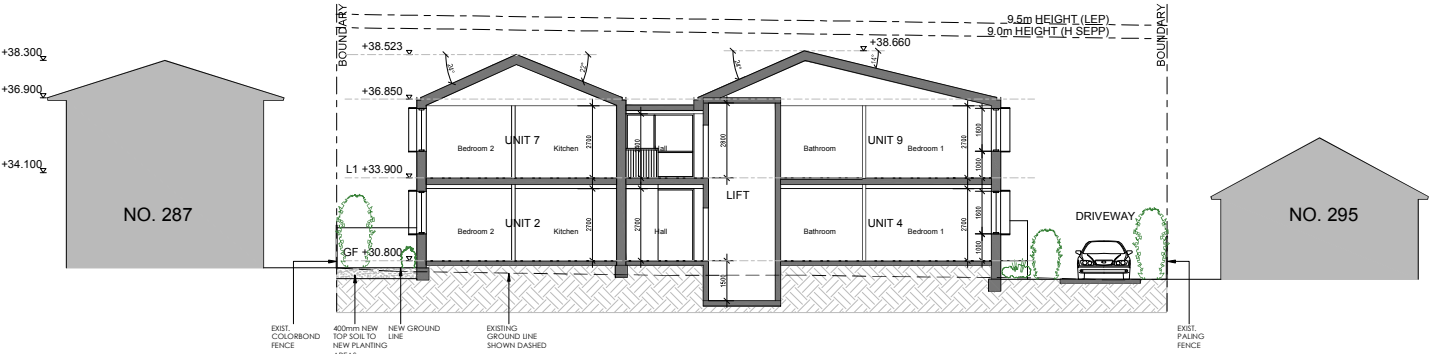
P1 PRIVACY SCREENS, METAL SLATS



P2 DARK METAL VERTICAL LOUVRES

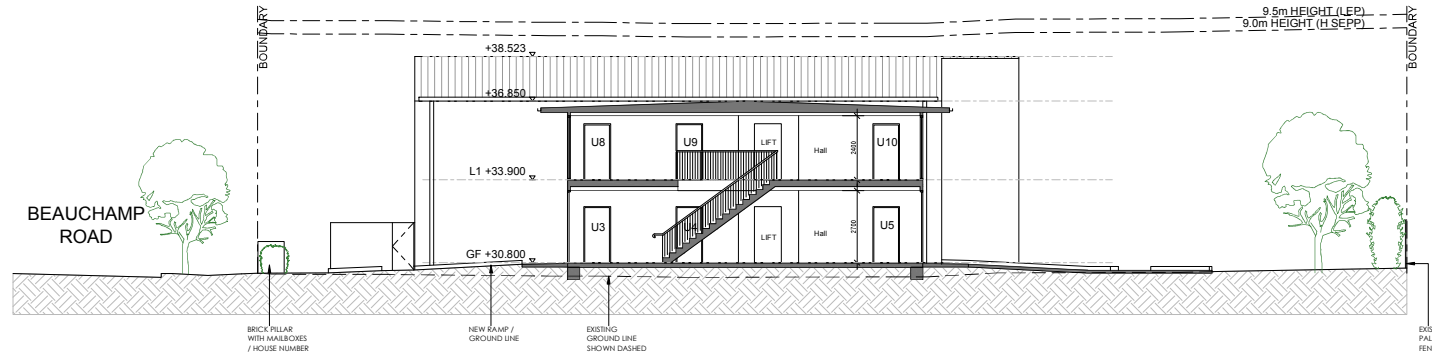
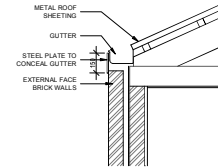
1 May 2023

Check.



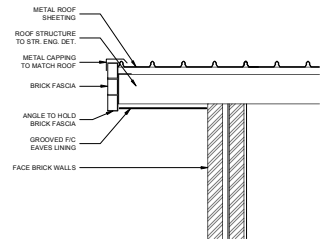
1 SECTION A-A

3 DETAIL SECTION
SCALE 1:20



2 SECTION B-B

4 DETAIL SECTION
SCALE 1:20



Rev	Description	Date
A	Design Development Issue	2021-10-04
B	Issue for Consultation	2021-11-29
C	Revised Issue for Consultation	2021-11-29
D	Issue for Development Application	2021-12-10
E	Revised DA Issue	2022-01-11
F	Revised DA Issue - Relocated Garbage Enclosure	2022-02-14
G	Revised Development Data Table	2022-04-04

Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253



SECTIONS A-A, B-B

Scale
1:100 @ A1
1:200 @ A3

Date
Apr 04, 2022
12:08PM

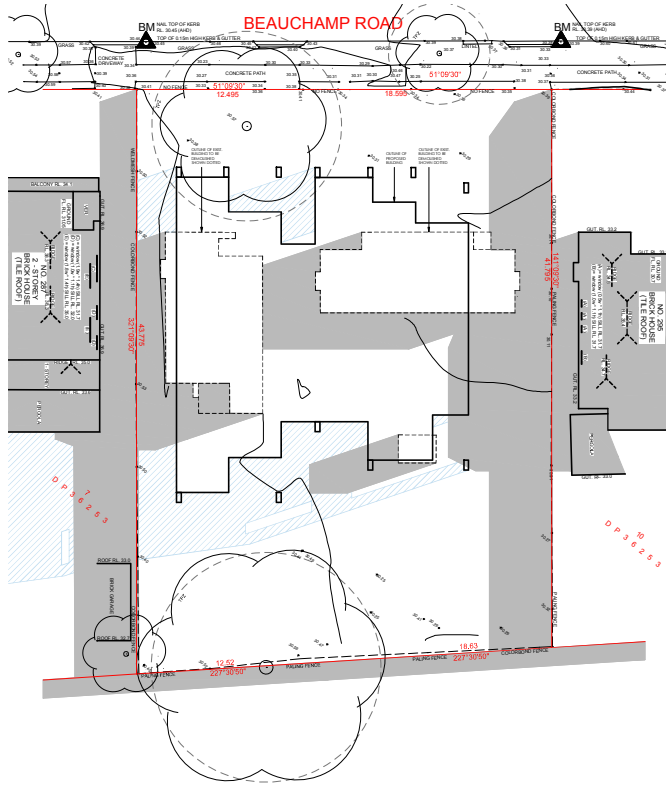
Issue
G

Project No.
3260

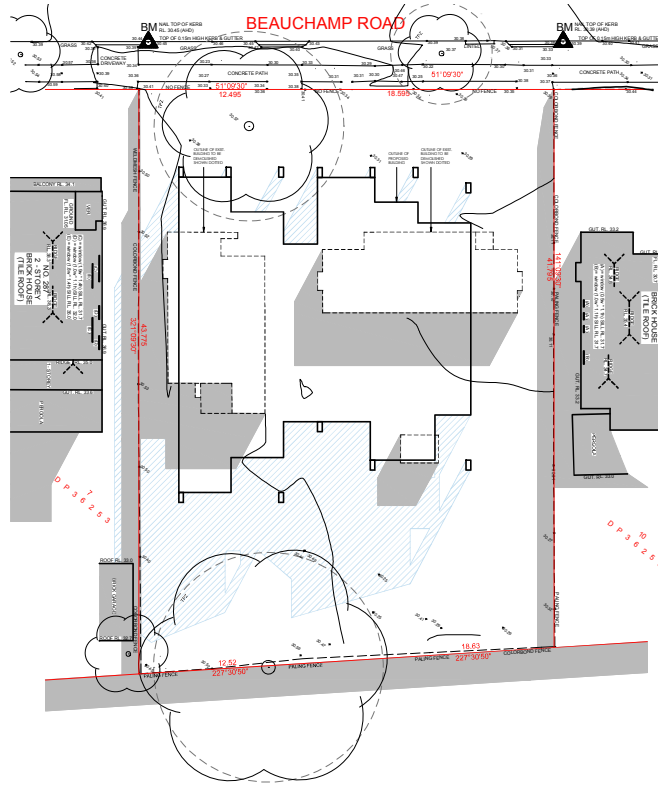
A-301

1 May 2023

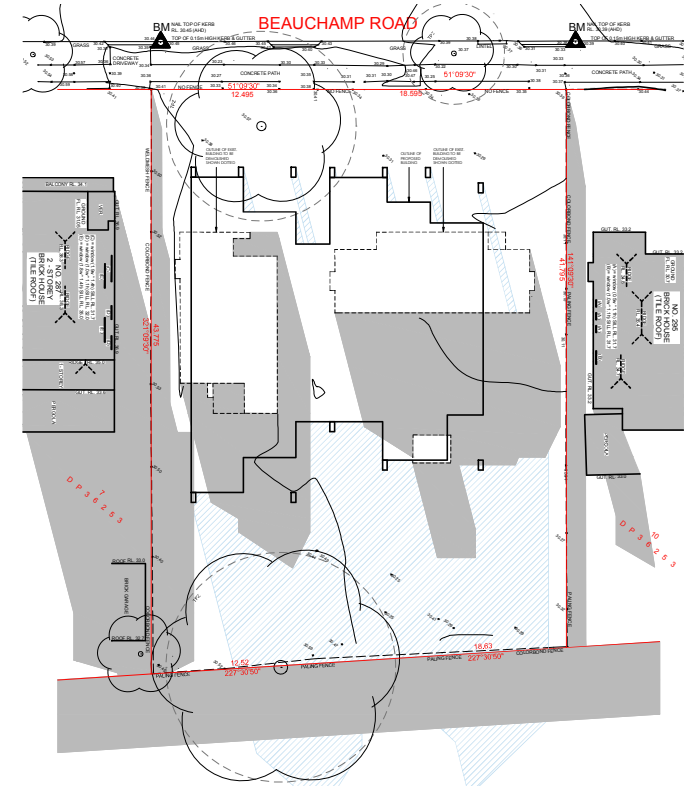
Chen



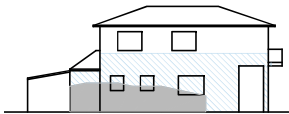
1 SHADOW DIAGRAM (JUNE 22 @9AM)
EXISTING / PROPOSED



2 SHADOW DIAGRAM (JUNE 22 @12PM)
EXISTING / PROPOSED



3 SHADOW DIAGRAM (JUNE 22 @3PM)
EXISTING / PROPOSED



4 SHADOW DIAGRAM (JUNE 22 @9AM)
ELEVATION - No. 287 BEAUCHAMP RD

KEY:
 SHADOWS FROM EXISTING BUILDINGS
 SHADOWS FROM PROPOSED BUILDING



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Rev	Description	Date
A	Design Development Issue	2021-11-04
B	Issue for Development Application	2022-12-10
C	Revised DA Issue - Relocated Garbage Enclosure	2022-02-19
D	Revised DA Issue - Road Tree 5 removed	2022-02-21
E	Minor graphic changes	2022-03-01



Senior Housing Development

289-293 Beauchamp Road
 Matraville NSW 2036
 Lots 8 & 9, DP 36253



SHADOW DIAGRAMS

Scale
 1:200 @ A1
 1:400 @ A3

Date
 Mar 09, 2022
 9:13AM

Issue
 E

Project No.
 3260

A-501

DETERMINED by the NSW Land and Housing Corporation on:

Shadrach

1 May 2023



1 SUN ANGLE DIAGRAM (JUNE 22 @9AM)



2 SUN ANGLE DIAGRAM (JUNE 22 @10AM)



3 SUN ANGLE DIAGRAM (JUNE 22 @11AM)



4 SUN ANGLE DIAGRAM (JUNE 22 @12AM)



Chen

1 May 2023



1 SUN ANGLE DIAGRAM (JUNE 22 @1PM)



2 SUN ANGLE DIAGRAM (JUNE 22 @2PM)



3 SUN ANGLE DIAGRAM (JUNE 22 @3PM)

SUNLIGHT ACCESS			
Unit	Living Areas		Private Open Space
1	5 hrs	10am-3pm	5 hrs 10am-3pm
2	0 hrs	-	0 hrs -
3	5 hrs	10am-3pm	5 hrs 10am-3pm
4	6 hrs	9am-3pm	6 hrs 9am-3pm
5	3 hrs	9am-12pm	3 hrs 9am-12pm
6	5 hrs	10am-3pm	5 hrs 10am-3pm
7	0 hrs	-	0 hrs -
8	5 hrs	10am-3pm	5 hrs 10am-3pm
9	6 hrs	9am-3pm	6 hrs 9am-3pm
10	3 hrs	9am-12pm	3 hrs 9am-12pm
min. 3 hrs midwinter sunlight to 8 of 10 Living areas (80%)			
min. 3 hrs midwinter sunlight to 8 of 10 balconies (P.O.S.) (80%)			





VIEW FROM BEAUCHAMP ROAD (NORTH-NORTH-WEST)



VIEW FROM BEAUCHAMP ROAD (NORTH-WEST)



VIEW FROM REAR (SOUTH)



VIEW FROM REAR (SOUTH-EAST)



0006910400 11 Nov 2022

Assessor Tracey Cools

Accreditation No. HERA10033

Address
289-293 Beauchamp Road,
Matraville, NSW, 2036



hstar.com.au



COLLARD MAXWELL ARCHITECTS

02 9955 0637

L2, 97 Pacific Highway, North Sydney 2060 NSW

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Rev	Description	Date
A	For Interim Client Discussion	2021-10-13
B	Design Development Issue	2021-11-05
C	Issue for Consultants	2021-11-23
D	Issue for Development Application	2021-12-10
E	Revised DA Issue	2022-01-21
F	Revised DA Issue - Relocated Garbage Enclosure	2022-02-18
G	Updated front landscape following Council Comments	2023-02-07



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Senior Housing Development

289-293 Beauchamp Road
Matraville NSW 2036
Lots 8 & 9, DP 36253

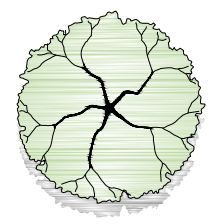
PERSPECTIVES

Scale	Date	Issue
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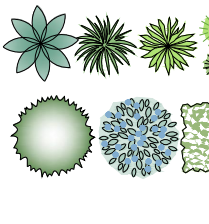
Project No.
3260

A-701

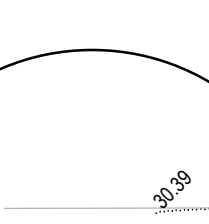
LEGEND



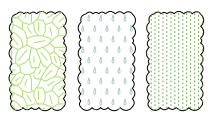
Proposed trees - refer to plant schedule



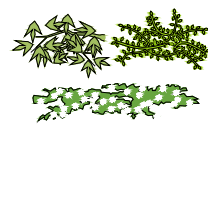
Proposed accents and grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Proposed climbers - refer to plant schedule

Existing levels

Proposed levels

Proposed Top Of Wall levels

Boundary

Boundary Fence

Pool Fence

Garden edging

Timber retaining walls

Masonry retaining walls

Existing contours

To be removed / demolished

Existing tree to be retained

Existing tree to be removed

BEAUCHAMP ROAD

PROPOSED RESIDENTIAL

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aa	Asplenium australasicum	Birds Nest Fern	3	200mm	0.5m
Aam	Acmena smithii 'Alyn Magic'	Alyn Magic Lillypillly	10	200mm	0.5-1m
Ag	Agave attenuata	Soft-leaved Agave	2	200mm	1m
Alp	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	10	200mm	1-1.5m
Arc	Arthropodium cirratum	NZ Rock Lilly	2	140mm	0.5m
Ass	Acmena smithii 'Sublime'	Sublime Lillypillly	63	200mm	5m
Bi	Banksia integrifolia	Coast Banksia	3	75L	1.5m
By	Beschoneria yuccifolios	Mexican Lily	8	300mm	1m-1.8m
Cr	Cycas revoluta	Sago Palm, Cycad	3	300mm	1m
Cra	Correa alba	White Native Fuchsia	25	150mm	0.5-2m
De	Doryanthes excelsa	Gymea Lily	3	200mm	2m
Dlr	Dianella revoluta 'Little Rev'	Dwarf Blue Flax Lily	26	150mm	0.3m
Dsf	Dichondra 'Silver Falls'	Dichondra Silver Falls	8	100mm	spill
Dtt	Dianella tasmanica 'Tasred'	Tasred Flax Lily	88	150mm	0.40m
Eri	Eriostemon australasicus	Pink Waxlower	7	200mm	1-2m
Gaf	Gardenia augusta 'Florida'	Florida Gardenia	21	200mm	0.8m
Gam	Gardenia 'Magnifica'	Gardenia Magnifica	9	200mm	1.5m
Hvw	Hardenbergia 'Happy Wanderer White'	White Happy Wanderer	125	150mm	1m
Lme	Lilape muscardi 'Evergreen Giant'	Giant Lilape	13	150mm	0.7m
Lt	Lomandra 'Tanika'	Fine-leaved Mat Rush	136	150mm	0.5m
Mlg	Michelia figo 'Coco'	Evergreen Magnolia	4	200mm	2m
Mg	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	75L	4m
Mp	Murraya paniculata	Orange Jessamine	5	200mm	3m
Mpy	Myoporum parviflorum 'Yareena'	Creeping Boobialla	6	150mm	0.1m
Pj	Pyrus nivalis	Snow Pear	1	75L	5m
Pn	Phormium tenax 'Jester'	New Zealand Flax	4	150mm	0.75m
Px	Philodendron 'Xanadu'	Philodendron	21	200mm	0.5m
Re	Rhapis excelsa	Lady Palm	12	45L	4m
Rop	Raphiolepis 'Oriental Pearl'	Raphiolepis	9	200mm	2m
Sap	Syzygium australe 'Pinnacle'	Lilly Pillly	48	25L	6m-10m
Tc	Tulbaghia violacea 'Variegated Society Garlic'	Variegated Society Garlic	18	140mm	0.3m
Wtz	Westringia fruticosa 'Zena'	Dwarf Native Rosemary	18	200mm	0.9m
Zf	Zamia furfuracea	Cardboard Palm	3	200mm	1m

*Australian native plant

715

PLANTINGS

TOTAL NO. OF PLANTS - 623
LOW WATER USE - 75.6% (471)



1.5m high Metal slats Privacy screening



Stone Paver (600x400x40)mm

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	SUBMITTED TO CLIENT FOR COMMENT	JD	AS	27-10-21
B	UPDATE TO LATEST ARCHITECTURALS	JD	AS	01-12-21
C	UPDATE TO LATEST ARCHITECTURALS	JD	AS	12-08-21
D	UPDATE TO LATEST ARCHITECTURALS	JD	AS	10-01-22
E	UPDATE TO LATEST ARCHITECTURALS	JD	AS	20-01-22
F	UPDATE TO LATEST ARCHITECTURALS	JD	AS	10-02-22

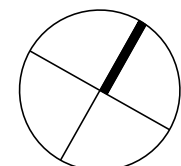


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6. All work to comply with relevant Australian Standards or Building Code of Australia
7. All work to be performed by a suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS	289-293 BEAUCHAMP ROAD, MATRAVILLE
CLIENT	LAHC MATRAVILLE

PROJECT	NEW RESIDENCE
DRAWING	LANDSCAPE PLAN
SCALE	1:100 @ A1
ISSUE	DA
SHEET	L - 01
DRAWN	JD
CHECK	AS
DATE	10-02-22
REVISION	F



STORMWATER DA DRAWING ONLY

- NOT FOR CONSTRUCTION
- FINAL LOCATION OF ALL DOWNPIPES, PITS, RAINWATER OUTLETS AND SUBSOIL PIPES TO BE CONFIRMED

LANDSCAPING DRAINAGE

- ALL LANDSCAPED AREAS LOCATED ABOVE CONCRETE SLABS TO BE EQUIPPED WITH WATERPROOFING MEMBRANE, DRAINAGE CELL AND GEOFABRIC

GEOTECHNICAL & STRUCTURAL ADVICE

- CARPARK, SUBSOIL, UPLIFT PRESSURE, VERTICAL WALL DRAINAGE AND PIT CONSTRUCTION DETAILS TO BE CONFIRMED / CO-ORDINATED WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS DURING CONSTRUCTION STAGE OF THE PROPOSED DEVELOPMENT

TYPICAL NOTE: ANY WORKS WITHIN TREE PROTECTION ZONE SHALL BE COORDINATED WITH SITE ARBORIST.

TRENCH DRAIN 100x100mm. GRATE TYPE AS SPECIFIED BY ARCHITECT.

TYPICAL NOTE: INSTALL SUB-SOIL DRAINAGE TO RETAINING WALL AS PER STRUCTURAL / LANDSCAPE REQUIREMENTS.

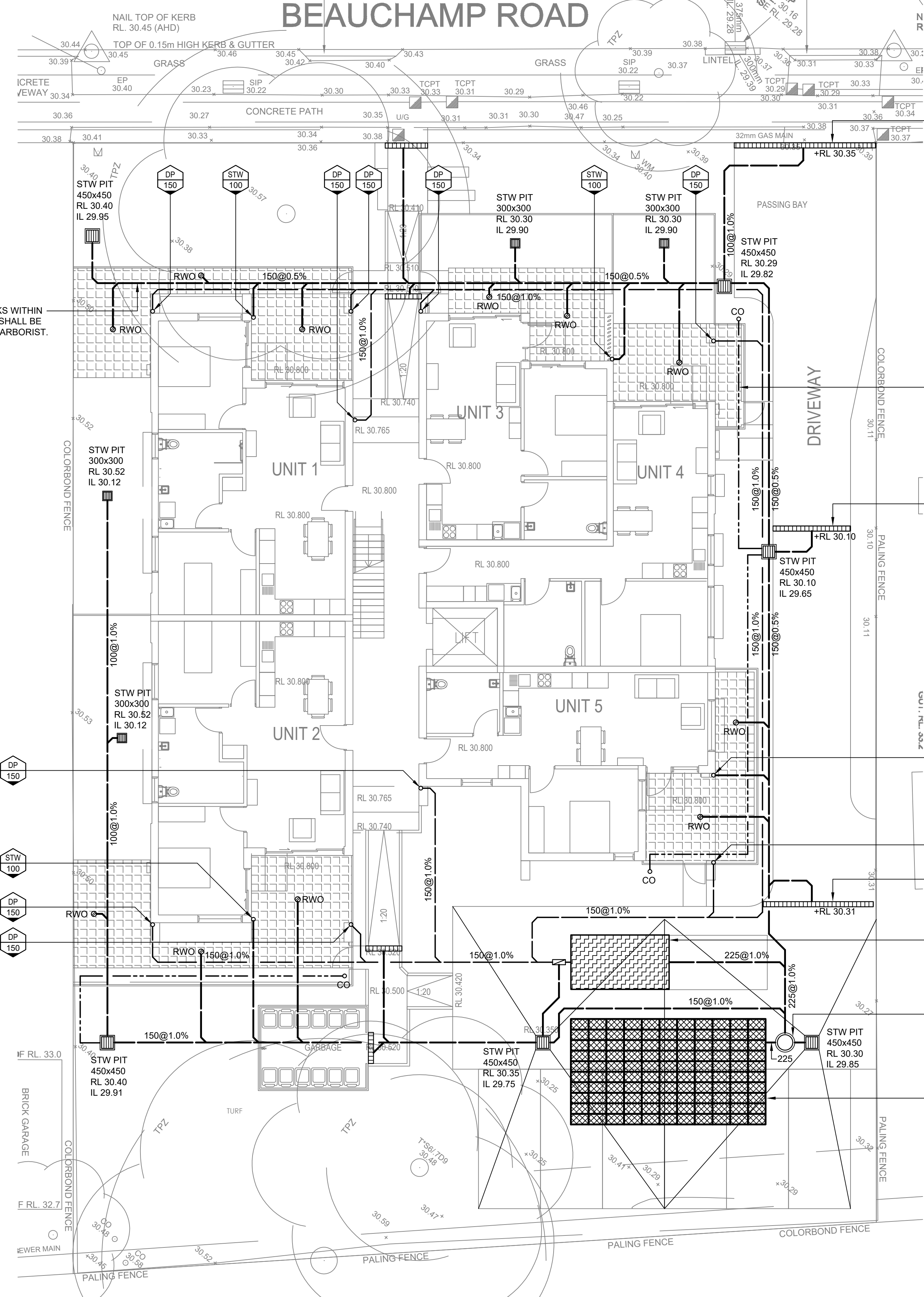
TRENCH DRAIN 100x100mm. GRATE TYPE AS SPECIFIED BY ARCHITECT.

TRENCH DRAIN 100x100mm. GRATE TYPE AS SPECIFIED BY ARCHITECT.



BELOW GROUND RAINWATER TANK 10,000L AS PER BASIX REQUIREMENTS. FIRST FLUSH DIVERTER TO BE INSTALLED ON INLET TO TANK. WASTE WATER DISCHARGE TO ADJACENT PIT WITH SLOW RELEASE VALVE.

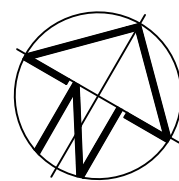
ATLANTIS FLOW SCREEN (LARGE) INSTALLED PRIOR TO ABSORPTION TRENCH. REFER DETAIL STW-00.

STORMWATER ABSORPTION TRENCH. ATLANTIS FLO-TANK MODULAR SYSTEM COMPRISING 110 DOUBLE UNITS (PART NUMBER 70004, MEDIUM DUTY 5 PLATE) ALLOW TO INSTALL IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS (REFER DETAIL STW-00). AVERAGE DEPTH OF 1.5m. LOCATED MINIMUM 2.1m FROM BOUNDARY & 3m FROM ANY STRUCTURE AS PER COUNCIL REQUIREMENTS.



DA ISSUE

Revision	Amendment	Approved	Revision Date	Copyright	Architect	Client	Engineer	Project	Drawn	Designed	Approved
A	ISSUED FOR REVIEW	PC	30.11.2021	COPYRIGHT - ALL RIGHTS RESERVED. Copying or reproducing the whole or part of this document in any form without the written permission of eiaustralia constitutes an infringement of copyright. DISCLAIMER Eiaustralia accepts no responsibility for the accuracy or for any consequence resulting from the use or alteration of this drawing in electronic form. Drawings in electronic form should be checked for accuracy against the equivalent hard copy issued by DIMENSIONS. Prior to commencing construction verify all dimensions against Architect's, other Consultants and Sub-Contractor's drawings. For building work, dimensions are not to be scaled or read electronically from this drawing. Setout dimensions, unless specifically shown, are to be obtained from the Architect's or other Consultant's drawings. For civil engineering work, dimensions are not to be manually scaled from drawing. Setout dimensions, unless specifically shown, are to be read electronically from this drawing.	 COLLARD MAXWELL ARCHITECTS 02 9955 0637 L2, 97 Pacific Highway, North Sydney 2060 NSW		 Practical Solutions for Built Environments	LAHC MATRAVILLE 289 - 293 BEAUCHAMP RD, MATRAVILLE NSW	P.C.	P.C.	B.P.
B	ISSUED FOR DA	BP	03.12.2021						Project No.	Scale	
C	ISSUED FOR DA	BP	09.12.2021						E25308	1:100 at A1.	
D	ISSUED FOR DA	BP	09.02.2022						Drawing No.	Revision	
									STW-03	D	
									Issued By	Checked By	Date
									P.C.	B.P.	09.02.2022



EROSION & SEDIMENT CONTROL NOTES

MINIMUM REQUIREMENTS

GENERAL
PROVIDE ON SITE CONTROLS THROUGHOUT THE ENTIRE WORKS TO ENSURE MINIMUM EROSION AND SEDIMENT LOSS.

ENSURE LEAST DISTURBANCE TO SITE.

AS EACH AREA IS COMPLETED, THAT AREA IS TO BE IMMEDIATELY/PROGRESSIVELY SEEDED AND FERTILISED. SILT FENCES, STRAW BALES OR OTHER CONTROLS NEED TO BE PROVIDED UNTIL THE SITE IS STABLE. SHOULD THIS APPROACH NOT BE PRACTICAL THE PROGRESSIVE REVEGETATION OF INDIVIDUAL AREAS WILL BE REQUIRED.

WHERE THERE IS GRADE ON OTHER AREAS OF THE SITE THAT MAY LEAD TO EROSION, FURTHER APPROPRIATE TREATMENT IS TO BE LOCATED TO CONTROL EROSION i.e. STRAW BALES

THE PROVISION AND MAINTENANCE OF (SEDIMENT) SILT FENCES WILL BE NECESSARY DURING THE CONSTRUCTION PHASE. WHEN INSTRUCTED BY THE COUNCIL PROGRESSIVELY REMOVE INDIVIDUAL SECTIONS OF SILT FENCES FOR CLEANING. CLEANING OF FENCES TO BE CARRIED OUT DURING PERIODS OF DRY WEATHER.

FILL AREAS
RUN-OFF AND SEDIMENT LOSS FROM THE AREAS OF FILL MUST BE CONTROLLED DURING AND AFTER CONSTRUCTION, BEFORE REVEGETATION TAKES PLACE USING SILT FENCES AND OR STRAW BALES AS INSTRUCTED BY THE PROJECT MANAGER/COUNCIL TO DIRECT WATER FROM THE DISTURBED AREA. OTHER MEASURES SHALL BE CARRIED OUT AS DIRECTED BY THE COUNCIL AND/OR AS SHOWN ON THE PLANS.

STOCK PILES
THE STOCK PILE LOCATION SHOWN ON THE PLAN IS PRELIMINARY. SHOULD THE BUILDER WISH TO RELOCATE THE STOCKPILE, HE SHALL OBTAIN APPROVAL FROM COUNCIL PRIOR TO COMMENCEMENT OF WORKS. THE BUILDER SHALL PRODUCE DRAWINGS INDICATING THE LOCATION OF STOCK PILES.

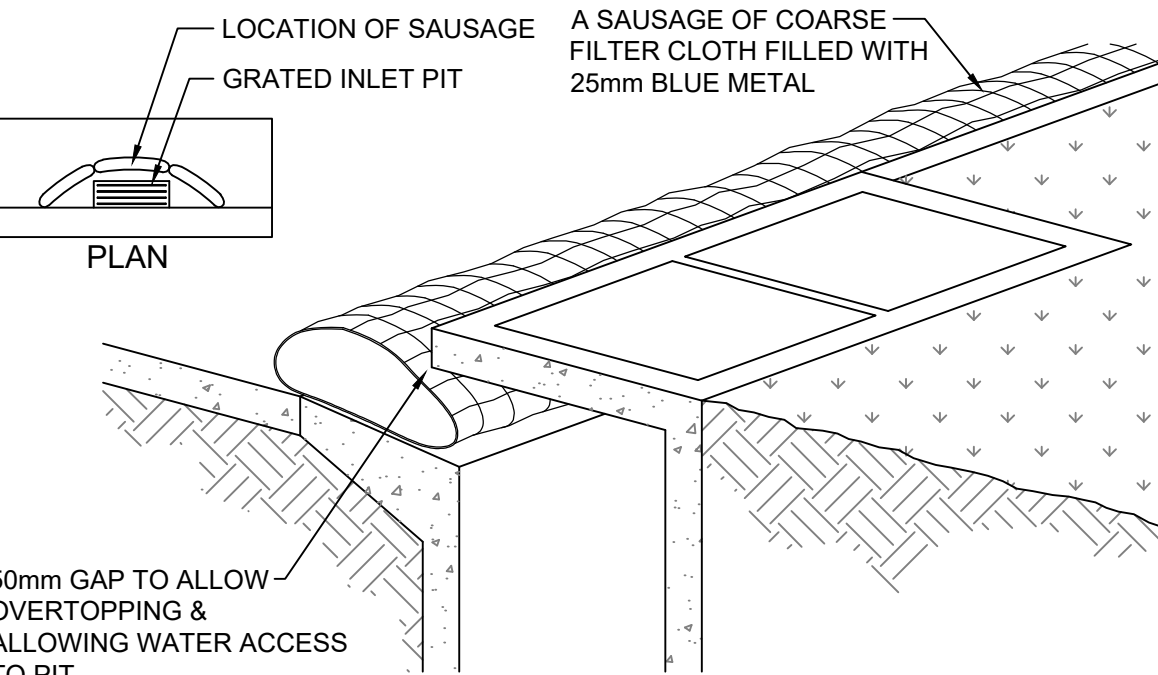
STOCK PILE SITES SHALL BE LOCATED AWAY FROM EXISTING OR PROPOSED DRAINAGE LINES OR AREAS LIKELY TO BE DISTURBED DURING CONSTRUCTION. STOCK PILE SITES SHALL NOT BE LOCATED WITHIN THE DRIP ZONE OF TREES.

STOCK PILE SITES MUST BE PROTECTED FROM EROSION AND SEDIMENT LOSS BY THE INSTALLATION OF SILT FENCES/STRAW BALES OR OTHER CONTROLS APPROVED BY COUNCIL.

WIND EROSION
TO MINIMISE WIND EROSION DURING CONSTRUCTION. THE GROUND SURFACE SHOULD BE KEPT DAMP (NOT WET). THE SURFACE SHOULD BE LEFT IN A ROUGH CLODDY CONDITION TO INCREASE ROUGHNESS AND SLOW SURFACE WIND SPEED.

LOCATION
LOCATION OF SEDIMENT CONTROL METHODS ie. SILT FENCES ARE SHOWN DIAGRAMMATICALLY ONLY ON DRAWING. FINAL LOCATION, EXTENT AND TYPE OF SEDIMENT CONTROL METHODS SHALL BE TO THE SATISFACTION OF COUNCIL.

THE CONTRACTOR, UNDER SECTION 16 OF THE CLEAN WATERS ACT, IS LIABLE FOR THE DEPOSITION OF ANY CONTAMINANTS DEPOSITED ON ROADWAYS AFTER LEAVING THE CONSTRUCTION SITE.



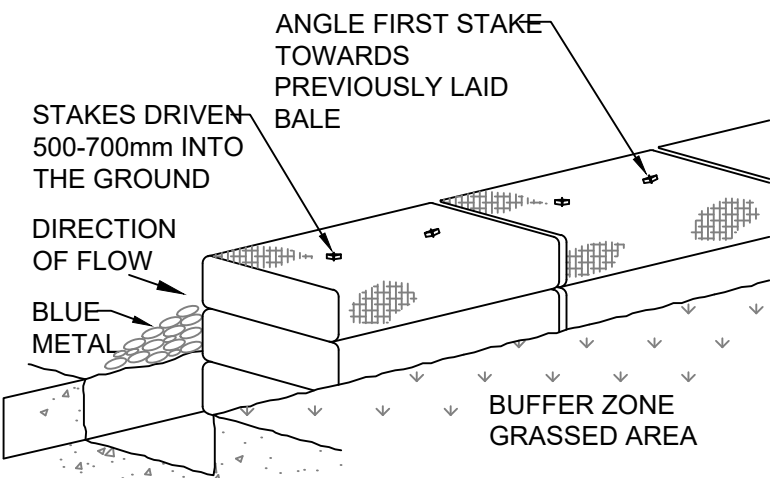
DETAIL - BLUE METAL GROYPNE (SAUSAGE)

BLUE METAL GROYPNE (SAUSAGE)

DESCRIPTION
THE GROYPNE COMPRISES A SAUSAGE OF SHADE CLOTH OR OTHER PREVIOUS FABRIC, SOME 200mm DIAMETER, FILLED WITH 25mm BLUE METAL AND CLOSED BOTH ENDS.

INSTALLATION
THE SAUSAGE IS LAID ON THE GROUND ON THE CONTOUR SIMILAR TO A SILT FENCE. GENERALLY THE SAUSAGE SHOULD BE LAID TWO HIGH TO OBTAIN ENOUGH FILTER AREA.

LOCATION
THE GROYNES SHOULD BE LOCATED ACROSS THE ENTRY DRIVEWAY TO THE SITE AND AROUND THE NEAREST DOWNSTREAM KERB ENTRY PITS.



DETAIL - STRAW BALE BARRIERS

STRAW BALE BARRIERS

DESCRIPTION
A TEMPORARY BARRIER OF STRAW BALES PLACED AROUND THE PERIMETER OF A DISTURBED AREA.

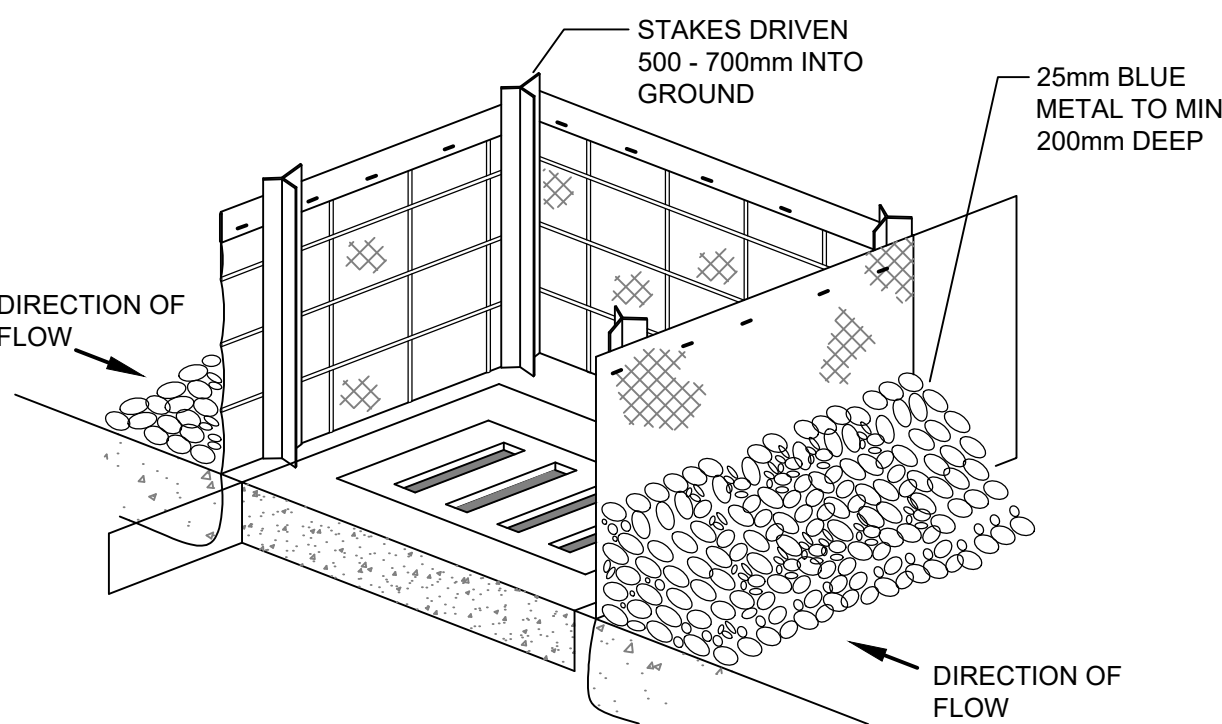
USAGE
STRAW BALE BARRIERS ARE USED TO DESILT CONTAMINATED WATER

INSTALLATION
STRAW BALES ARE ONLY EFFECTIVE ON SITES OF LESS THAN HALF A HECTARE. THE BALES SHOULD BE PLACED LENGTHWISE IN 100mm DEEP TRENCHES WITH THEIR BINDING ROPE HORIZONTAL TO THE GROUND.

THE BALES SHOULD BE CONNECTED AND ANCHORED TO THE GROUND BY DRIVING TWO STAR PICKETS OR POSTS THROUGH EACH BALE. THE FIRST STAKE MUST BE DRIVEN TOWARDS THE ADJOINING BALE AT A 45° ANGLE TO FORCE THE BALES TOGETHER.

MAINTENANCE
AFTER RAINFALL STRAW BALE BARRIERS SHOULD BE INSPECTED AND SEDIMENT REMOVED. DAMAGED BALES SHOULD BE REPAIRED OR REPLACED BALES HAVE A LIFE EXPECTANCY OF THREE TO SIX MONTHS.

NOTE
THE LOCATION OF STRAW BALES ON THE ABOVE SITE PLAN IS DIAGRAMMATIC ONLY. THE REQUIREMENT FOR THE USAGE OF STRAW BALES IS TO BE AS A SUPPLEMENTARY MEASURE TO ASSIST THE SILT FENCES. FINAL LOCATIONS AND EXTENT OF STRAW BALES TO BE DETERMINED BY THE COUNCIL.



DETAIL: STORM INLET SEDIMENT TRAP

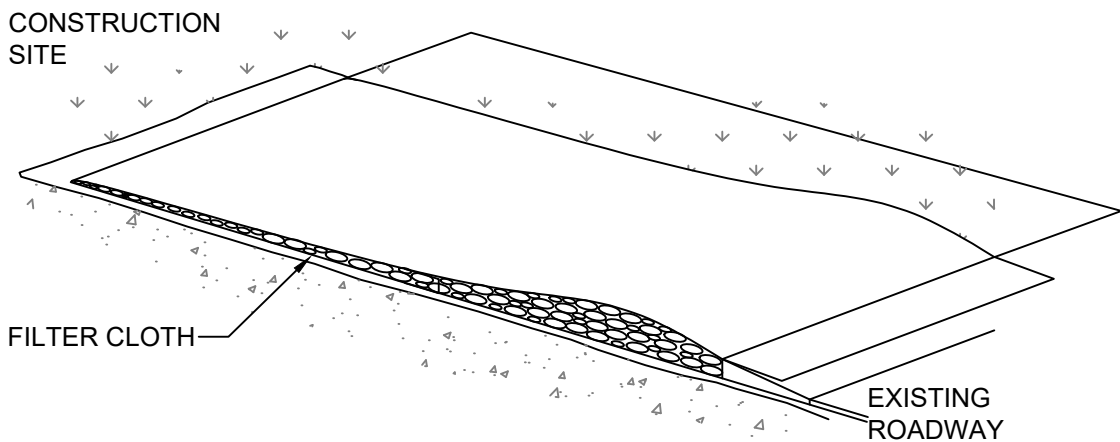
STORM INLET SEDIMENT TRAP

DESCRIPTION
THESE ARE TEMPORARY DE-SILTING STRUCTURES.

USAGE
SUCH SEDIMENT TRAPS ARE USED AT STORMWATER INLETS AND OUTLETS, CULVERT ENTRIES AND POINTS WHERE RUN-OFF FROM DISTURBED CATCHMENTS SUCH AS CONSTRUCTION SITES IS DISCHARGED.

GENERAL REQUIREMENTS
SEDIMENT TRAPS ARE BUILT FROM STRAW BALES, WASHED GRAVEL, GABIONS OR SANDBAGS (OR SARLON TYPE MATERIALS) FILLED WITH BLUE METAL. THE CHOICE OF MATERIAL OR TYPE OF STRUCTURE DEPENDS ON THE SIZE OF THE DRAINAGE AREA AND THE PHYSICAL STRUCTURE SURROUNDING THE SEDIMENT TRAP. CONSTRUCTION MATERIALS TO BE CONFIRMED BY COUNCIL.

MAINTENANCE
SEDIMENT TRAPS SHOULD BE REGULARLY MAINTAINED AND RESTORED TO THEIR ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO HALF OF THE DESIGNED CAPACITY. THE OUTLET SHOULD BE CONSTRUCTED AND MAINTAINED TO ENSURE EROSION DOES NOT OCCUR. MAINTENANCE PROGRAM SHALL BE AS REQUESTED BY COUNCIL.



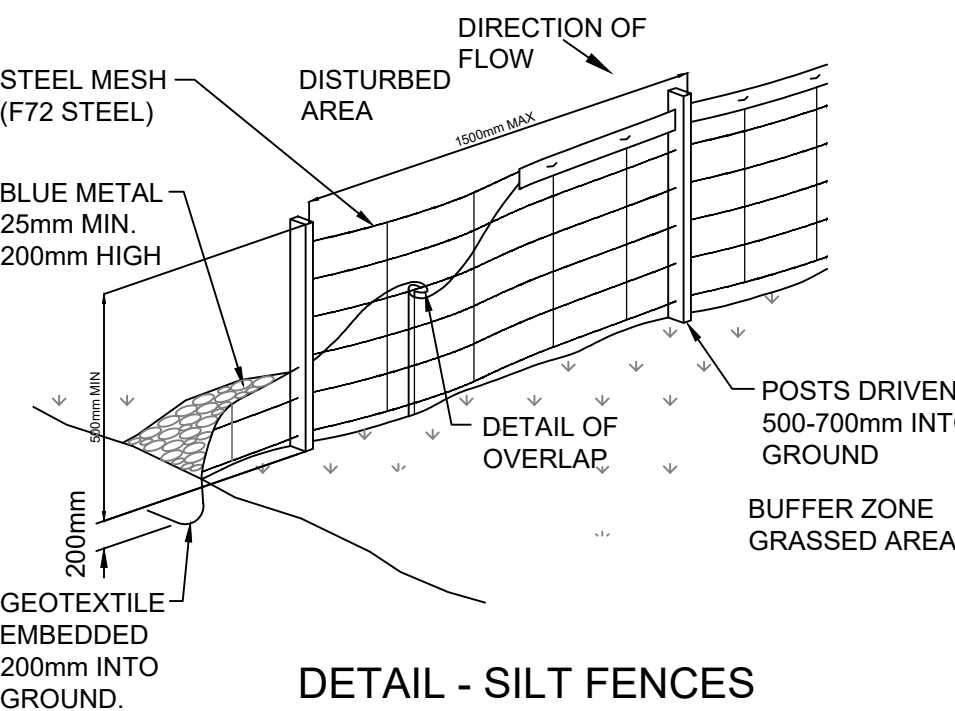
DETAIL - SHAKE DOWN AREA/ACCESS STABILISATION

DESCRIPTION
STABILISED ACCESS SHALL BE A BED OF AGGREGATE ON FILTER CLOTH. GRADE THE ENTRANCE SO THAT IT IS AT LEAST 15 METRES LONG WITH A MINIMUM WIDTH OF 3 METRES FOR A ONE WAY ENTRANCE AND 6 METRES FOR A TWO WAY ENTRANCE. PLACE FILTER CLOTH OVER THE ENTIRE AREA AND COVER IT WITH 150mm MINIMUM THICKNESS OF 50mm AGGREGATE RIVER GRAVEL OR A RECYCLED OR RECLAIMED CONCRETE EQUIVALENT.

USAGE
SUCH STRUCTURES SHALL BE USED AT ALL POINTS WHERE CONSTRUCTION VEHICLES ENTER OR LEAVE THE SITE AND EXISTING ROADWAYS.

TREATMENT/MAINTENANCE

SURFACE WATER FLOWING TO THE ENTRANCE MUST BE PIPED UNDER THE ENTRANCE, OR A BERM CONSTRUCTED TO DIRECT SURFACE FLOW AWAY FROM THE ROAD.
ALL DEPOSITS ARE TO BE REGULARLY CLEARED FROM SITE ACCESS. THE DRAWBAR, TAILGATE ETC OF ANY VEHICLE INVOLVED IN THE TRANSPORT OF GRAVEL ETC TO A CONSTRUCTION SITE MUST BE MANUALLY CLEANED OF MATERIAL BEFORE THE VEHICLE LEAVES THE SITE.
SHOULD THE MATERIAL BE DEPOSITED ON THE ROADWAY ETC, SUCH MATERIAL SHALL BE SWEEPED AND REMOVED FROM THE ROADWAY.



DETAIL - SILT FENCES

SILT FENCES

DESCRIPTION
SILT FENCES ARE TEMPORARY BARRIERS MADE FROM A COMBINATION OF FILTER CLOTH AND BLUE METAL

USAGE
SILT FENCES FILTER RUN-OFF LEAVING THE SITE TRAPPING THE SEDIMENT AND ALLOWING CLEAN FILTERED WATER TO PASS. SILT FENCES ARE TO BE PLACED ON THE CONTOUR OR SLIGHTLY CONVEX TO THE CONTOUR. IF ON THE CONTOUR, EACH END OF THE FENCE SHOULD BE TURNED UP TO CREATE A 'STILLING POND' UP SLOPE OF THE FENCE. WHERE POSSIBLE, A SILT FENCE SYSTEM SHOULD BE NO LONGER THAN ABOUT 20 METRES. THEY SHOULD NOT INTERCEPT LARGE CONCENTRATED OR CHANNELISED FLOWS.

INSTALLATION
THE AREA BELOW A SILT FENCE MUST BE UNDISTURBED ON STABILISED GROUND.

MAINTENANCE
SILT FENCES REQUIRE REGULAR MAINTENANCE. TRAPPED SEDIMENTS SHOULD BE REMOVED, PICKETS STRAIGHTENED, FILTER CLOTH RESECURED AND TIGHTENED AND BLUE METAL REPLACED WHEN HEAVILY CONTAMINATED WITH SILT.

NOTE
FILTER FABRIC SHALL BE EQUIVALENT TO 'GEOLAB' AND BE CAPABLE OF INTERCEPTING SILT PARTICLES DOWN TO 2 MICRON IN SIZE.

STOCKPILE LOCATION WITH STRAW BALE BARRIER. FINAL LOCATION TBC ON SITE WITH BUILDER. REFER TO DETAIL.

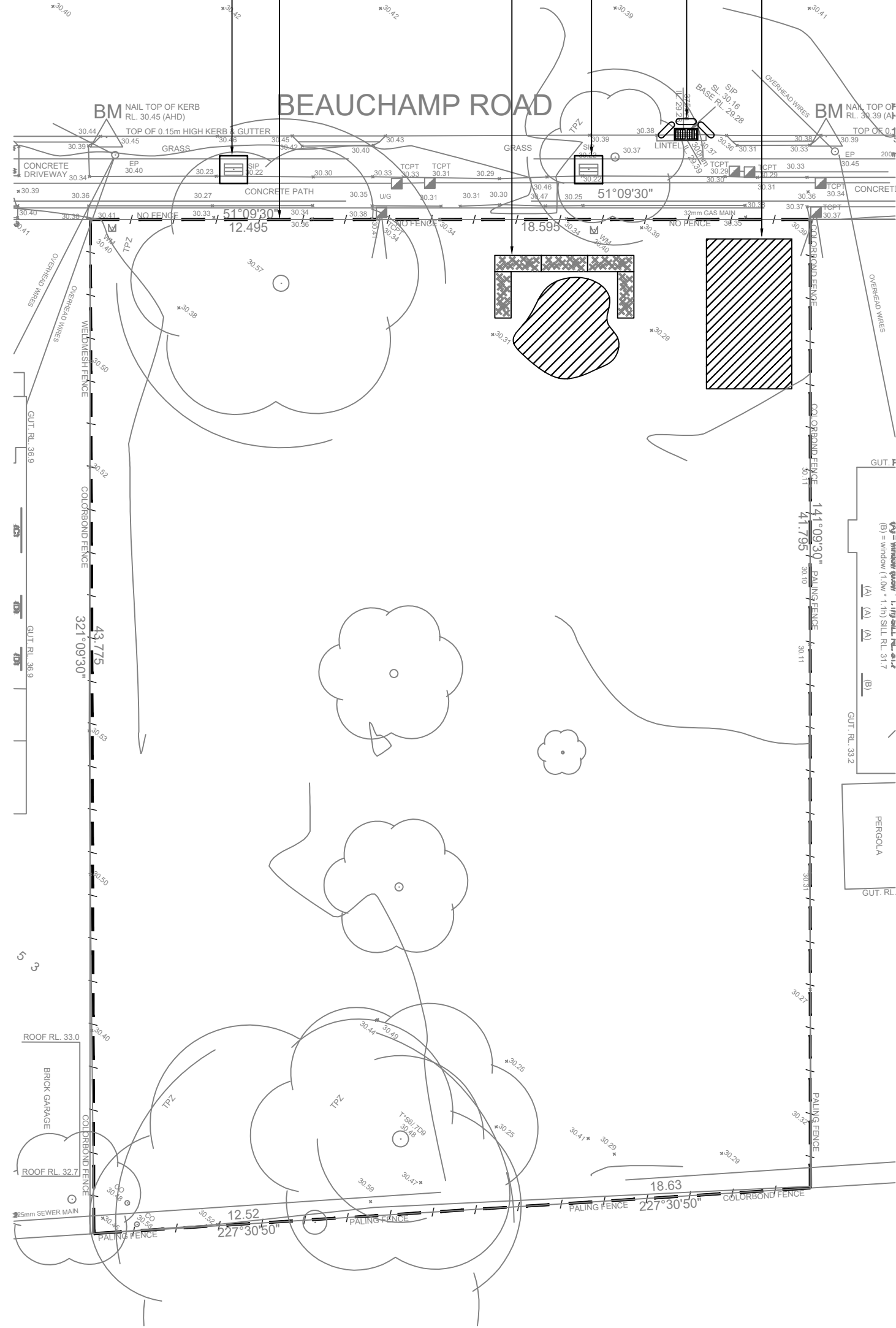
SILT FENCE. FINAL LOCATION TBC ON SITE WITH BUILDER. REFER TO DETAIL.

ALL PROPOSED AND EXISTING STORMWATER PITS WITHIN AND ADJACENT TO WORK ZONE SHALL HAVE SEDIMENT TRAP INSTALLED. REFER TO DETAIL.

ALL PROPOSED AND EXISTING STORMWATER PITS WITHIN AND ADJACENT TO WORK ZONE SHALL HAVE SEDIMENT TRAP INSTALLED. REFER TO DETAIL.

BLUE METAL GROYPNE (SAUSAGE) AROUND EXISTING KERB INLET PITS. REFER TO DETAIL.

SHAKE DOWN AREAS/ACCESS STABILISATION. FINAL LOCATION TBC ON SITE WITH BUILDER. REFER TO DETAIL.



EROSION SEDIMENT CONTROL PLAN
SCALE 1:200

DA ISSUE

Revision	Amendment	Approved	Revision Date	Copyright - All Rights Reserved	Architect	Client	Engineer	Project	Drawn	Designed	Approved
A	ISSUED FOR REVIEW	PC	30.11.2021	Copying or reproducing the whole or part of this document in any form without the written permission of eiaustralia constitutes an infringement of copyright.	 02 9955 0637 L2, 97 Pacific Highway, North Sydney 2060 NSW		 Practical Solutions for Built Environments	LAHC MATRIVILLE 289 - 293 BEAUCHAMP RD, MATRIVILLE NSW	P.C	P.C	B.P
B	ISSUED FOR DA	BP	03.12.2021	DISCLAIMER Eiaustralia accepts no responsibility for the accuracy or for any consequence resulting from the use or alteration of this drawing in electronic form. Drawings in electronic form should be checked for accuracy against the equivalent hard copy issued by DIMENSIONS.					Project No. E25308	Scale 1:200 @ A1.	
				Prior to commencing construction verify all dimensions against Architect's, other Consultants and Sub-Contractor's drawings.					Drawing No. STW-01	Revision B	
				For building work, dimensions are not to be scaled or read electronically from this drawing. Setout dimensions, unless specifically shown, are to be obtained from the Architect's or other Consultant's drawings.					Issued By P.C	Checked By B.P	Date 03.12.2021
				For civil engineering work, dimensions are not to be manually scaled from drawing. Setout dimensions, unless specifically shown, are to be read electronically from this drawing.							

STORMWATER NOTES

- CONFIRM LOCATION, SIZE, CONDITION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS, BCA AND RELEVANT AUSTRALIAN STANDARDS (IN PARTICULARLY AS 3500)
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND OTHER CONSULTANTS DOCUMENTS. ALL DISCREPANCIES SHALL BE REFERRED TO THE PROJECT MANAGER BEFORE PROCEEDING WITH THE WORK.
- LOCATION OF ALL DOWNPIPES, PITS AND PIPEWORK IS DIGRAMMATIC ONLY FINAL LOCATION TO BE CO-ORDINATED DURING CONSTRUCTION CERTIFICATE DOCUMENTATION.
- ALL MATERIALS USED IN THE WORK SHALL BE NEW AND OF THE BEST QUALITY AND TYPE AVAILABLE TO CONFORM WITH THE RELEVANT AUSTRALIAN STANDARDS AND BEAR THE REQUIRED STANDARDS MARK AND WATERMARK.
- MAKE ALL APPLICATIONS TO LOCAL COUNCIL. PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY THE AUTHORITIES.
- PIPEWORK UP TO 225mm DIAMETER SHALL BE UPVC DRAINAGE WASTE GRADE WITH SOLVENT WELDED JOINTS.
- PIPEWORK SHALL BE LAID AT 1:100 MINIMUM GRADE UNLESS NOTED OTHERWISE. PIPEWORK MAY BE LAID AT STEEPER GRADES AS REQUIRED TO MEET COVER REQUIREMENTS OR AS NOMINATED BY PIPEWORK INVERT LEVELS.
- SUBSOIL PIPEWORK SHALL BE INSTALLED AS REQUIRED, INCLUDING BEHIND ALL RETAINING STRUCTURES, PLANTERS AND WHERE GROUND WATER IS ENCOUNTED. SHALL BE 90mm SLOTTED UPVC PIPE WRAPPED IN CLOTH SOCK AND SURROUNDED WITH 150mm THICKNESS OF 20mm DIAMETER BLUE METAL AND SURROUNDED IN GEOTEXTILE FABRIC.
- ALL EXTERNAL LEVELS TO FALL AWAY FROM BUILDING. BUILDER TO ENSURE THRESHOLD REQUIREMENTS. OVERLAND FLOW PATHS TO BE MAINTAINED AROUND BUILDING TO PREVENT WATER INGRESS.
- ALL LANDSCAPED AREAS LOCATED ABOVE CONCRETE SLABS TO BE EQUIPPED WITH DEDICATED OUTLET, WATERPROOFING MEMBRANE, DRAINAGE CELL AND GEOFABRIC.
- SUBSOIL, UPLIFT PRESSURE, VERTICAL WALL DRAINAGE AND PIT CONSTRUCTION DETAILS TO BE CONFIRMED / CO-ORDINATED WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS DURING CONSTRUCTION STAGE OF THE PROPOSED DEVELOPMENT.
- ALL BALCONIES TO BE PROVIDED WITH SAFETY OVERFLOWS (FINAL LOCATION OF OVERFLOWS TO BE CONFIRMED BY ARCHITECT).

DRAWING SCHEDULE

DWG No	DESCRIPTION
STW-00	LEGEND, DETAILS & CALCULATIONS
STW-01	EROSION SEDIMENT CONTROL PLAN
STW-02	STORMWATER DRAINAGE- GROUND FLOOR

STORMWATER PIT SIZES

MINIMUM INTERNAL MEASUREMENTS:				
DEPTH TO BASE OF CHAMBER	RECTANGULAR WIDTH	RECTANGULAR LENGTH	CIRCULAR	LADDER / STEP IRON
LESS THAN 600	450	450	600	NO
601 TO 900	600	600	900	NO
901 TO 1200	600	900	1050	NO
GREATER THAN 1200	900	900	1050	YES

OSD & RAINWATER TANK CALCULATIONS

ALL IN ACCORDANCE WITH RANDWICK COUNCIL STORMWATER REQUIREMENTS.

OSD NOT REQUIRED WHERE ABSORPTION / INFILTRATION PROPOSED.

RAINWATER TANK MINIMUM EFFECTIVE VOLUME 10,000L WITH AN ASSOCIATED ROOF CATCHMENT OF 498mSQ AS PER BASIX REQUIREMENTS.

ABSORPTION TRENCH SIZING

GEOTECHNICAL REPORT DATED 08.11.2021 PREPARED BY STS GEOTECHNICS PTY LTD CONFIRMED INFILTRATION RATE OF 0.7L/SEC/M² AT 1M DEEP AND 0.4L/SEC/M² AT 2M DEEP. AN AVERAGE OF 0.55L/SEC/M² HAS BEEN ADOPTED FOR THE PROPOSED DESIGN.

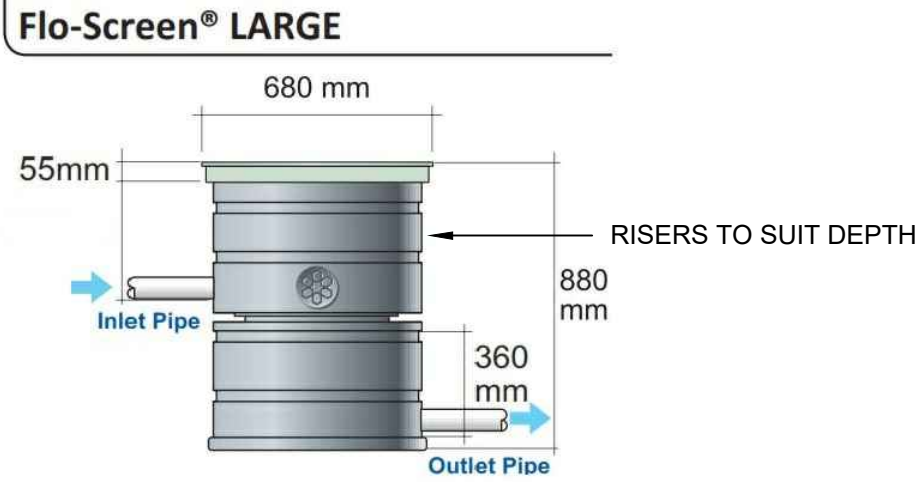
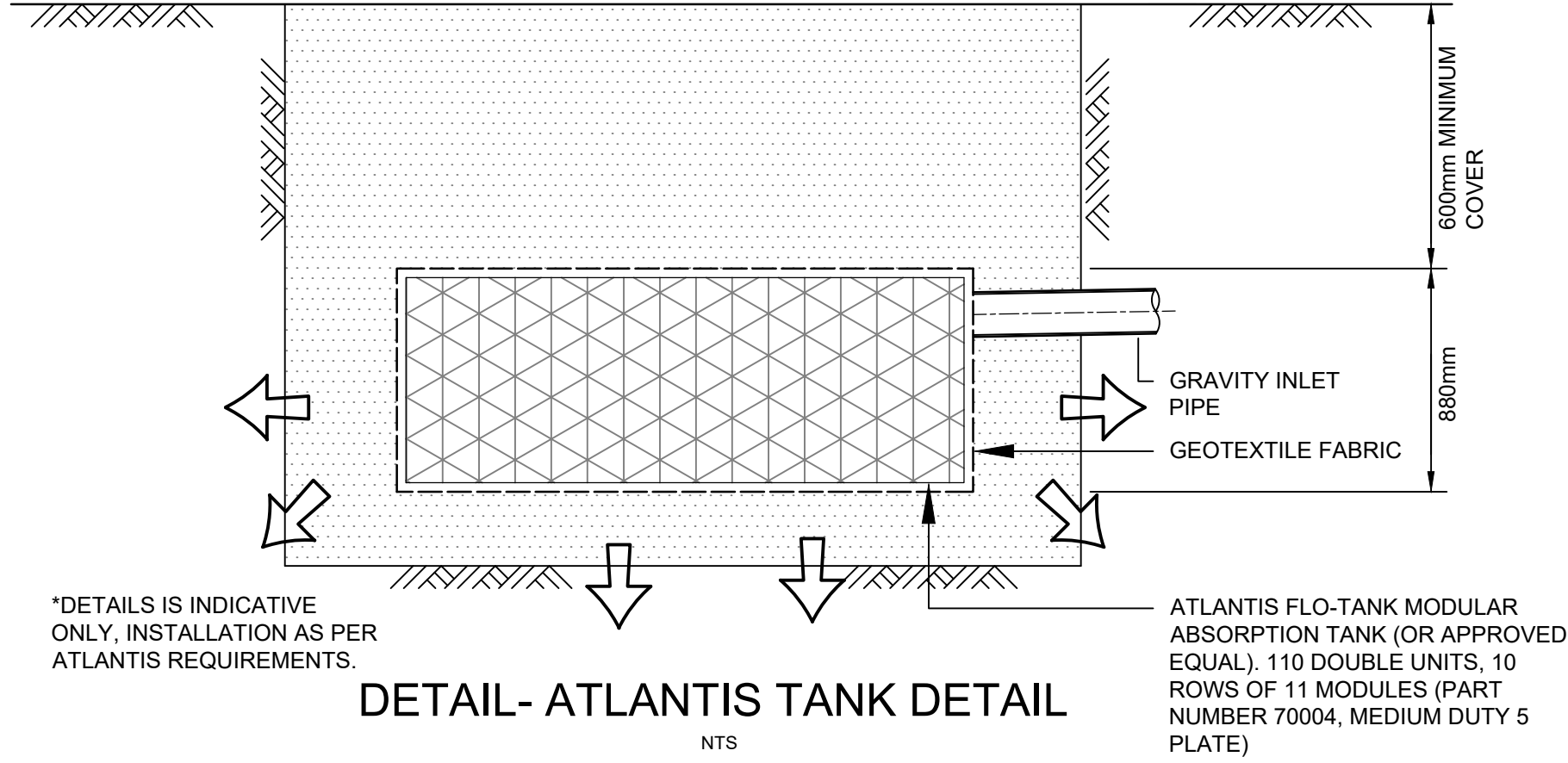
IMPERVIOUS CATCHMENT AREA:	801m ²
INFILTRATION RATE:	0.55 L/sec/m ²
AREA AVAILABLE FOR INFILTRATION:	28.5m ²
ABSORPTION RATE:	15.675 L/sec
ARI:	1:100 YEARS
STORAGE REQUIRED:	23.5m ³

LINETYPES

---	STORMWATER DRAINAGE
----	SUBSOIL DRAINAGE
---	EXISTING SERVICE
---	EXISTING SERVICE TO BE REDUNDANT

SYMBOLS

○	RISER
○	DROPPER
	CONTINUATION SYMBOL (CONTINUATION OF SERVICE NOT SHOWN)
—	CAPPED OFF SERVICE
→	DIRECTION OF FLOW IN PIPE
○	DIRECTION OF FLOW SERVICE SIZE
○ RWO	RAINWATER OUTLET
○ BRWO	BALCONY RAINWATER OUTLET
○ PRWO	PLANTER RAINWATER OUTLET
○ SRWO	SPOON DRAIN RAINWATER OUTLET
□	STORMWATER PIT (WITH COVER)
▢	STORMWATER PIT (WITH GRATE)
▢	KERB INLET PIT
—	SAFETY OVERFLOW
—	SPREADER



Part No: 60003 - Multiple pipe inlets
Suitable for flow situations of 20 L/sec.
Size: (H)880 x (W)680mm

Flo-Screen® Large Pipe Connections

The large Flo-Screen® filtration unit can accommodate multiple pipe inlets.

- 4 pipe inlets of 90mm
- 2 pipe inlets of 150mm
- 1 pipe inlet of 250mm

ATLANTIS FLO-TANK® MODULE SPECIFICATIONS

VOID RATIO: 95% Void

MATERIAL: 85% Recycled Polypropylene, 15% Propriety Materials

SERVICE TEMPERATURE: -30°C to 120°C (-22°F to 248°F)

CHEMICAL & BIOLOGICAL RESISTANCE: Unaffected by moulds & algae soil-bourne chemicals, bacteria ad bitumen

	H 240mm (9.45")	H 450mm (17.72")	H 880mm (2.88ft)	H 1310mm (4.29ft)	H 1740mm (5.70ft)	H 2170mm (7.12ft)
	Mini P/N 70010	Single P/N 70003	Double P/N 70004	Triple P/N 70005	Quad P/N 70006	Penta P/N 70007
	MINI	SINGLE	DOUBLE	TRIPLE	QUAD	PENTA
HEIGHT	240 mm	450 mm	880 mm	1310 mm	1740 mm	2170 mm
WIDTH	408 mm	408 mm	408 mm	408 mm	408 mm	408 mm
LENGTH	685 mm	685 mm	685 mm	685 mm	685 mm	685 mm
FOOTPRINT	0.2795 SQM	0.2795 SQM	0.2795 SQM	0.2795 SQM	0.2795 SQM	0.2795 SQM
WATER STORAGE	64.58 L	119.47 L	233.64 L	347.80 L	461.93 L	576.10 L

DA ISSUE

Revision	Amendment	Approved	Revision Date	Copyright	Architect	Client	Engineer	Project	Drawn	Designed	Approved
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B	ISSUED FOR DA	BP	03.12.2021						Project No.	Scale	Revision
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									Drawn No.		
									STW-00		
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